

BID # 03-220616

ADA UPGRADES & PARKING LOT STRIPE & SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA

June 7th, 2022

ADDENDUM – 01

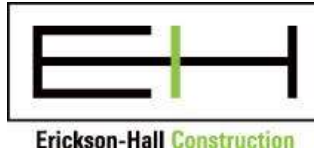
PLANS & SPECIFICATIONS

- ITEM NO. 1 PROJECT MANUAL, SPECIFICATION SECTION- 001116 NOTICE INVITING BIDS
- A. The bid deadline remains 10:00 o'clock AM. on the **16th day of June 2022**.
The location for receipt of Bids remains the District Office for Victor Elementary School District, located at 12219 2nd Ave., Victorville, CA 92395.
- ITEM NO. 2 PROJECT MANUAL, CONTRACT REQUIREMENTS SECTION – PROJECT SCHEDULE
- A. Revised preliminary schedule to remove “Mandatory” from Job Walk line item.
B. Revised preliminary schedule to add signage scope at each school.
- ITEM NO. 3 PROJECT MANUAL, PLANS SECTION - EXHIBIT A & PLAN SHEETS
- A. Revised Exhibit A to reflect additional scope items and clarify general note items across all sites.
B. Revised plan sheets A0.1 at Liberty, Park View & Village.
C. Revised plan sheet A0.1 at Puesta Del Sol to reflect alternate.
- ITEM NO. 4 PROJECT MANUAL, TAB 2 – BID FORM

Revised Bid Form to provide line item for Alternate at Puesta Del Sol Elementary. District will utilize the following method to determine the lowest bidder in accordance with Public Contract Code 20103.8: The lowest bid shall be the lowest total of the bid prices on the base contract and those additive or deductive items that were specifically identified in the bid solicitation as being used for the purpose of determining the lowest bid price.

Alternate No.01 – Puesta Del Sol Trash Lane

Note: Pursuant to Public Contract Code Section 20103.8, the selection process does not preclude the District from using any of the additive or deductive alternates from the Contract after the lowest responsible bidder has been determined.



REQUESTS FOR CLARIFICATIONS

ITEM NO. 5 Question: Project Manual, Notice of Inviting Bids notes that the job walk is NON-MANDATORY where the Preliminary Project Schedule in the Contract Requirements notes “Jobwalk-Mand.”. Please provide clarification on job walk requirement.

Response: All Bidders

The Job Walk is non-mandatory as noted on Project Manual, Notice Inviting Bids. Refer to revised schedule included in Addendum #1.

ITEM NO. 6 Question: General Notes 2 & 3 on Sheet A1.1 for each campus calls out scope for signage and wheel stops. Per Exhibit A and the Project Schedule, there are no items identifying any signage or wheel stop scope on this project. Please confirm if there is signage/wheel stop scope on this project.

Response: All Bidders

Refer to revised Exhibit A included in Addendum #1 for Project Scope related to Signage and Wheel Stop scope throughout project.

ITEM NO. 7 Question: Per Exhibit A, items 5, 6, 7, 8, 9, 13 & 19 and Project Schedule, there are several locations called out to have truncated domes installed. There is no reference to any demo being required at these location but rather just the installation of the domes per detail 13/A2.1. This detail references to detail 18/A2.1 for a flush transition. As this cannot be achieved unless concrete is removed, please clarify how these details and notes are to be met.

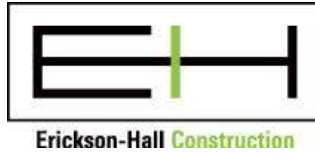
Response: All Bidders

Where existing truncated dome cannot be remove and replaced without damaging existing concrete slab, demo the entire slab and replace with new, then install truncated dome to conform to approved plan. Surface applied type of truncated dome is acceptable per detail 20/A2.1.

ITEM NO. 8 Question: Minimum Asphalt Specifications provided in the Bid Documents notes crack filling procedures for $\frac{3}{4}$ " minimum and plus cracks. Please provide estimated lineal footage for cracks less than $\frac{3}{4}$ " and greater than $\frac{3}{4}$ ". Asphalt specifications all note pothole procedures, please clarify if there are any pothole repairs to be included in the bid.

Response: All Bidders

Refer to revised Exhibit A included in Addendum #1 for Lineal Footage of cracks greater than $\frac{3}{4}$ " to be applied for bidding purposes as well as clarification of pothole repairs. For cracks less than $\frac{3}{4}$ " contractor to utilize same value for bidding purposes.



ITEM NO. 9 Question: At Discovery School of the Arts, Exhibit A, Item No.11 calls for an existing AC Ramp to be demolished and a new concrete ramp to be installed. Please clarify what the existing condition is to be demoed. Also, no demo limits have been provided for this item, please provide the limits of demo.

Response: All Bidders

Existing AC ramp noted per Exhibit A, Item No.11 to be demolished is asphalt. Area shown on plan where Keynote 0301 is called out to concrete. Demo limits clarified on revised Exhibit A included in Addendum #1.

ITEM NO. 10 Question: At Discovery School of the Arts, Exhibit A, Item No.12 identifies an existing area that exceeds the 2% max cross slope. Please confirm that the existing area is asphalt and clarify what is to be done at this area to correct the conflict.

Response: All Bidders

Existing area at Discovery per Exhibit A, Item No.12 is asphalt, contractor to remove and replace area to match level of surrounding grades.

ITEM NO. 11 Question: At Puesta Del Sol Elementary, Exhibit A, Items No.19, 20 & 21 require additional clarification. Please clarify the estimated square footage of demo for Item No.19. Also, please clarify if any cross slope correction for item No.20 is required. Additionally, please clarify if existing ramp noted per item No.21 is compliant.

Response: All Bidders

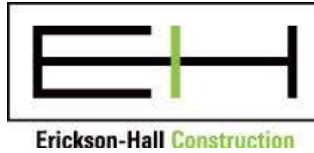
Refer to revised Exhibit A included in Addendum #1 for clarification regarding the estimated square footage of demo per Item No.19. Contractor to presume cross slopes per Item No.20 are within allowable limits. Furthermore, contractor to presume that ramp shown on detail 3/A1.1 is not present and all work at this area is new and to be included in bid as such.

ITEM NO. 12 Question: Per Exhibit A and Project Schedule, there are multiple items that note to only include seal coating and striping. Please confirm that this is all the scope for this site.

Response: All Bidders

Refer to revised Exhibit A included in Addendum #1 for clarification at each school.

ITEM NO. 13 Question: Per Exhibit A, item 16, dome layout is to match the plan and conform to details 14 & 18 on sheet A2.1. Please clarify if any concrete demo and replacement will be required at this area.



Response: All Bidders

Refer to Addendum #1 Q&A Item No. 6 response.

ITEM NO. 14 Question: Per Exhibit A, item 23, all items shown on detail 2/A1.1 are to be added. Please clarify if this is to include any cross slope corrections within the asphalt area.

Response: All Bidders

Cross slopes within the area shown per plan Sheet A1.1 are within allowable tolerance.

ITEM NO. 15 Question: Per Exhibit A, item 26, contractor is to fix the curb transition to the parking lot as existing conditions are too steep. Please provide further clarification on how to proceed with the repair.

Response: All Bidders

Contractor to demo entire length of out of compliance zero curb and install new to flush with passenger loading landing area, feather AC paving to provide flush transition to zero curb. Refer to Exhibit B for zero curb detail.

ADDENDUM ATTACHMENTS

- **Bid Form**
- **VESD ADA Upgrades & Parking Lot Stripe & Seal – Preliminary Schedule**
- **Exhibit A – Project Scope dated 6/3/22**
- **Sheet A0.1 – Liberty**
- **Sheet A0.1 – Park View**
- **Sheet A0.1 – Village**
- **Sheet A0.1 – Puesta Del Sol**
- **Exhibit B – Zero Curb Detail**

END OF ADDENDUM 01

BID FORM

FOR

ADA UPGRADES & PARKING LOT STRIPE & SEAL

Bid No. 03-220616

FOR

VICTOR ELEMENTARY SCHOOL DISTRICT

CONTRACTOR
NAME:

ADDRESS:

TELEPHONE:

()

FAX:

()

EMAIL

TO: Victor Elementary School District, acting by and through its Governing Board, herein called "District".

1. Pursuant to and in compliance with your Notice Inviting Bids and other documents relating thereto, the undersigned bidder, having familiarized himself with the terms of the Contract, the local conditions affecting the performance of the Contract, the cost of the work at the place where the work is to be done, with the Drawings and Specifications, and other Contract Documents, hereby proposes and agrees to perform within the time stipulated, the Contract, including all of its component parts, and everything required to be performed, including its acceptance by the District, and to provide and furnish any and all labor, materials, tools, expendable equipment, and utility and transportation services necessary to perform the Contract and complete all of the Work in a workmanlike manner required in connection with the construction of:

BID SCHEDULE NO. 03-220616

ADA Upgrades & Parking Lot Stripe & Seal

in the District described above, all in strict conformance with the drawings and other Contract Documents on file at the Facilities Office of said District for amounts set forth herein.

2. BIDDER ACKNOWLEDGES THE FOLLOWING ADDENDUM:

Number	Number	Number	Number	Number	Number	Number	Number
_____	_____	_____	_____	_____	_____	_____	_____

Acknowledge the inclusion of all addenda issued prior to bid in the blanks provided above. Your failure to do so may render your bid non-responsive.

3. TOTAL CASH PURCHASE PRICE IN WORDS & NUMBERS:

Work included for Brentwood DSA A# 04-119210 Price – _____ DOLLARS

Work included for Challenger DSA A# 04-119211 Price – _____ DOLLARS

Work included for Discovery DSA A# 04-119212 Price – _____ DOLLARS

Work included for Liberty DSA A# 04-119213 Price – _____ DOLLARS

Work included for Park View DSA A# 04-119205 Price – _____ DOLLARS

Work included for Puesta Del Sol DSA A# 04-119206 Price – _____ DOLLARS

Work included for Village DSA A# 04-119210 Price – _____ DOLLARS

Work included for West Palms DSA A# 04-119210 Price – _____ DOLLARS

Allowance Amount – \$40,000.00 DOLLARS

(as confirmed in Special Conditions)

Total of Base Bid plus Allowance – DOLLARS

Total of Base Bid in Words - _____

4. ALTERNATE BIDS:

The following amounts shall be added to or deducted from the Total Base Bid at the DISTRICT's option. Description of work to be as follows:

Alternate No.01 – At Puesta Del Sol Elementary, remove and replace 3000 sf of existing asphalt at Trash Bin Lane as shown on the plan. New asphalt section to match existing, section to be over excavated and scarified to meet 95% compaction. Area to be striped to match existing as appropriate.

1) Total of Alternate in words: _____
_____ DOLLARS

2) Total of Alternate plus Total Bid: \$ _____

3) Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

5. **TIME FOR COMPLETION: The Contractor can proceed with ADA Upgrades, stripe & seal work after given the Notice to Proceed. Sealing/Striping shall begin no sooner than July 15, 2022 and complete the work no later than August 18, 2022 (32 Calendar Days), as discussed in the Special Conditions and as coordinated with the Construction Manager.**

The District may give a notice to proceed within sixty (60) days of the award of the bid by the District. Once the Contractor has received the notice to proceed, the Contractor shall complete the work in the time specified in the Agreement. By submitting this bid, Contractor has thoroughly studied this Project and agrees that the Contract Time for this Project is adequate for the timely and proper completion of the Project. Further, Contractor has included in the analysis of the time required for this Project, Rain Days, Governmental Delays, and the requisite time to complete Punch List.

In the event that the District desires to postpone giving the notice to proceed beyond this sixty (60) day period, it is expressly understood that with reasonable notice to the Contractor, giving the notice to proceed may be postponed by the District. It is further expressly understood by the Contractor, that the Contractor shall not be entitled to any claim of additional compensation as a result of the postponement of giving the notice to proceed.

If the Contractor believes that a postponement will cause a hardship to it, the Contractor may terminate the contract with written notice to the District within ten (10) days after receipt by the Contractor of the District's notice of postponement. Should the Contractor terminate the Contract as a result of a notice of postponement, the District shall have the authority to award the Contract to the next lowest responsible bidder, if applicable.

It is understood that the District reserves the right to reject any or all bids and/or waive any irregularities or informalities in this bid or in the bid process. The Contractor understands that it may not withdraw this bid for a period of sixty (60) days after the date set for the opening of bids.

6. Attached is bid security in the amount of not less than ten percent (10%) of the bid:

Bid bond (10% of the Bid), certified check, or cashier's check (circle one)

7. The required List of Designated Subcontractors is attached hereto.

8. The required Non-Collusion Declaration is attached hereto.

9. The Substitution Request Form, if applicable, is attached hereto.

10. It is understood and agreed that if written notice of the acceptance of this bid is mailed, telegraphed, or delivered to the undersigned after the opening of the bid, and within the time this bid is required to remain open, or at any time thereafter before this bid is withdrawn, the undersigned will execute and deliver to the District a Contract in the form attached hereto in accordance with the bid as accepted, and that he or she will also furnish and deliver to the District the Performance Bond and Payment Bond, all within five (5) calendar days after award of Contract, and that the work under the Contract shall be commenced by the undersigned bidder, if awarded the Contract, by the start date provided in the District's Notice to Proceed, and shall be completed by the Contractor in the time specified in the Contract Documents.

11. The names of all persons interested in the foregoing proposal as principals are as follows:

(IMPORTANT NOTICE: If bidder or other interested person is a corporation, state the legal name of such corporation, as well as the names of the president, secretary, treasurer, and manager thereof; if a co-partnership, state the true names of the firm, as well as the names of all individual co-partners comprising the firm; if bidder or other interested person is an individual, state the first and last names in full.)

12. PROTEST PROCEDURES. If there is a bid protest, the grounds shall be submitted as set forth in the Instructions to Bidders.

13. The undersigned bidder shall be licensed and shall provide the following California Contractor's license information:

License Number: _____

License expiration date: _____

Name on License: _____

Class of License: _____

DIR Registration Number: _____

If the bidder is a joint venture, each member of the joint venture must include the above information.

14. Time is of the essence regarding this Contract, therefore, in the event the bidder to whom the Contract is awarded fails or refuses to post the required bonds and return executed copies of the Agreement form within five (5) calendar days from the date of receiving the Notice of Award, the District may declare the bidder's bid deposit or bond forfeited as damages.

15. The bidder declares that he/she has carefully examined the location of the proposed Project, that he/she has examined the Contract Documents, including the Plans, General Conditions, Supplemental Conditions, Addenda, and Specifications, all others documents and requirements that are attached to and/or contained in the Project Manual, all other documents issued to bidders and read the accompanying instructions to bidders, and hereby proposes and agrees, if this proposal is accepted, to furnish all materials and do all work required to complete the said work in accordance with the Contract Documents, in the time and manner therein prescribed for the unit cost and lump sum amounts set forth in this Bid Form.

16. DEBARMENT. In addition to seeking remedies for False Claims under Government Code section 12650 et seq. and Penal Code section 72, the District may debar a Contractor pursuant to Article 15 of the General Conditions if the Board, or the Board may designate a hearing officer who, in his or her discretion, finds the Contractor has done any of the following:

- a. Intentionally or with reckless disregard, violated any term of a contract with the District;
- b. Committed an act or omission which reflects on the Contractor's quality, fitness or capacity to perform work for the District;
- c. Committed an act or offense which indicates a lack of business integrity or business honesty; or
- d. Made or submitted a false claim against the District or any other public entity. (See Government Code section 12650, et seq., and Penal Code section 72)

17. DESIGNATION OF SUBCONTRACTORS. In compliance with the Subletting and Subcontracting Fair Practices Act (California Public Contract Code section 4100 et seq.) and any amendments thereof, each bidder shall list subcontractors on the District's form Subcontractor list. This subcontractor list shall be submitted with the bid and is a required form

I agree to receive service of notices at the e-mail address listed below.

I the below-indicated bidder, declare under penalty of perjury that the information provided and representations made in this bid are true and correct.

Proper Name of Company

Name of Bidder Representative

Street Address

City, State, and Zip

()

Phone Number

()

Fax Number

E-Mail

By: _____ Date: _____
Signature of Bidder Representative

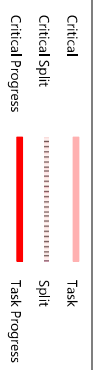
NOTE: If bidder is a corporation, the legal name of the corporation shall be set forth above together with the signature of authorized officers or agents and the document shall bear the corporate seal; if bidder is a partnership, the true name of the firm shall be set forth above, together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership; and if bidder is an individual, his signature shall be placed above.

All signatures must be made in permanent ink.

Victor ESD - Summer 2022
 ADA Upgrades & Parking Lot Stripe
 & Seal - Preliminary Schedule



ID	Task Name	Duration	Start	Finish
1	Preconstruction	91 days	Tue 4/12/22	Thu 8/18/22
2	Bid Document Preparation	20 days	Tue 4/12/22	Mon 5/9/22
3	Plan Revisions	10 days	Mon 5/2/22	Fri 5/13/22
4	Bid Solicitation	6 days	Thu 5/19/22	Thu 5/26/22
5	Job Walk	1 day	Fri 6/10/22	Fri 6/10/22
6	Addenda Process	3 days	Mon 6/13/22	Wed 6/15/22
7	Bid Date	1 day	Thu 6/16/22	Thu 6/16/22
8	Potential Award	5 days	Thu 7/7/22	Wed 7/13/22
9	Precon Mtg	5 days	Thu 7/14/22	Wed 7/20/22
10	Submittals	12 days	Thu 7/14/22	Fri 7/29/22
11	Last Day School - 21/22	1 day	Thu 6/16/22	Thu 6/16/22
12	First Day School - 22/23	1 day	Thu 8/18/22	Thu 8/18/22
13	Village Steam	5 days	Thu 7/14/22	Wed 7/20/22
14	Slurry Seal - 15,000 sf	2 days	Thu 7/14/22	Fri 7/15/22
15	Striping & Signage	1 day	Mon 7/18/22	Mon 7/18/22
16	Demo Conc Ramp	1 day	Mon 7/18/22	Mon 7/18/22
17	F/P/S - Conc Ramp	2 days	Tue 7/19/22	Wed 7/20/22
18	Truncated Domes	1 day	Thu 7/21/22	Thu 7/21/22
19	West Palms	5 days	Mon 7/18/22	Fri 7/22/22
20	Slurry Seal - Staff - 47,500 sf	1 day	Mon 7/18/22	Mon 7/18/22
21	Slurry Seal - A2 - 13,500 sf	1 day	Tue 7/19/22	Tue 7/19/22
22	Slurry Seal - A3 - 20,000 sf	1 day	Wed 7/20/22	Wed 7/20/22
23	Striping & Signage	2 days	Thu 7/21/22	Fri 7/22/22
24	Liberty School	3 days	Thu 7/21/22	Mon 7/25/22
25	Slurry Seal - 39,000 sf	1 day	Thu 7/21/22	Thu 7/21/22
26	Striping & Signage	2 days	Fri 7/22/22	Mon 7/25/22
27	Park View Prep	4 days	Fri 7/22/22	Wed 7/27/22
28	Truncated Domes	1 day	Fri 7/22/22	Fri 7/22/22
29	Slurry Seal - 32,800 sf	2 days	Fri 7/22/22	Mon 7/25/22



Legend:
 Critical (Red bar)
 Critical Split (Red bar with dots)
 Critical Progress (Red bar with arrow)
 Task (Blue bar)
 Split (Blue bar with dots)
 Task Progress (Blue bar with arrow)
 Baseline (Grey bar)
 Baseline Split (Grey bar with dots)
 Baseline Milestone (Grey bar with diamond)
 Milestone (Grey bar with diamond)
 Summary Progress (Grey bar with arrow)
 Summary (Grey bar with arrow)
 Project Summary (Grey bar with arrow)

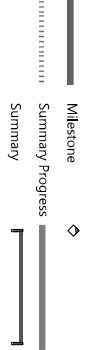
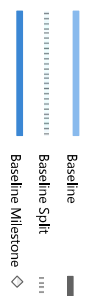
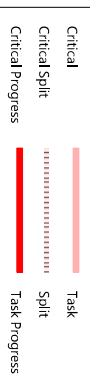


Estimation

Victor ESD - Summer 2022
 ADA Upgrades & Parking Lot Stripe
 & Seal - Preliminary Schedule



ID	Task Name	Duration	Start	Finish
30	Striping & Signage	2 days	Tue 7/26/22	Wed 7/27/22
31	Discovery School	9 days	Mon 7/25/22	Thu 8/4/22
32	Demo AC Ramp - 1 ea	1 day	Mon 7/25/22	Mon 7/25/22
33	Demo Conc Ramp - 2 ea	1 day	Tue 7/26/22	Tue 7/26/22
34	F/P/S - Conc Ramp - 2 ea	3 days	Wed 7/27/22	Fri 7/29/22
35	Truncated Domes	1 day	Mon 8/1/22	Mon 8/1/22
36	Slurry Seal - 59,000 sf	2 days	Mon 8/1/22	Tue 8/2/22
37	Striping & Signage	2 days	Wed 8/3/22	Thu 8/4/22
38	Brentwood ES	3 days	Wed 8/3/22	Fri 8/5/22
39	Slurry Seal - Back - 7,000 sf	1 day	Wed 8/3/22	Wed 8/3/22
40	Slurry Seal - Front - 24,000 sf	1 day	Wed 8/3/22	Wed 8/3/22
41	Striping & Signage	2 days	Thu 8/4/22	Fri 8/5/22
42	Puesta Del Sol	6 days	Tue 8/2/22	Tue 8/9/22
43	Demo Conc Ramps - 2 ea	1 day	Tue 8/2/22	Tue 8/2/22
44	F/P/S Conc Ramps - 2 ea	3 days	Wed 8/3/22	Fri 8/5/22
45	Truncated Domes	1 day	Mon 8/8/22	Mon 8/8/22
46	Slurry Seal - 47,400 sf	2 days	Thu 8/4/22	Fri 8/5/22
47	Striping & Signage	2 days	Mon 8/8/22	Tue 8/9/22
48	Challenger School	5 days	Mon 8/8/22	Fri 8/12/22
49	Truncated Domes	1 day	Tue 8/9/22	Tue 8/9/22
50	Slurry Seal - A - 33,300 sf	2 days	Mon 8/8/22	Tue 8/9/22
51	Slurry Seal - B - 20,600 sf	1 day	Wed 8/10/22	Wed 8/10/22
52	Striping & Signage	2 days	Thu 8/11/22	Fri 8/12/22
53	Project Completion	5 days	Mon 8/15/22	Fri 8/19/22
54	Punchlist	5 days	Mon 8/15/22	Fri 8/19/22



VESD ADA Upgrades & Parking Lot Stripe & Seal

Exhibit A

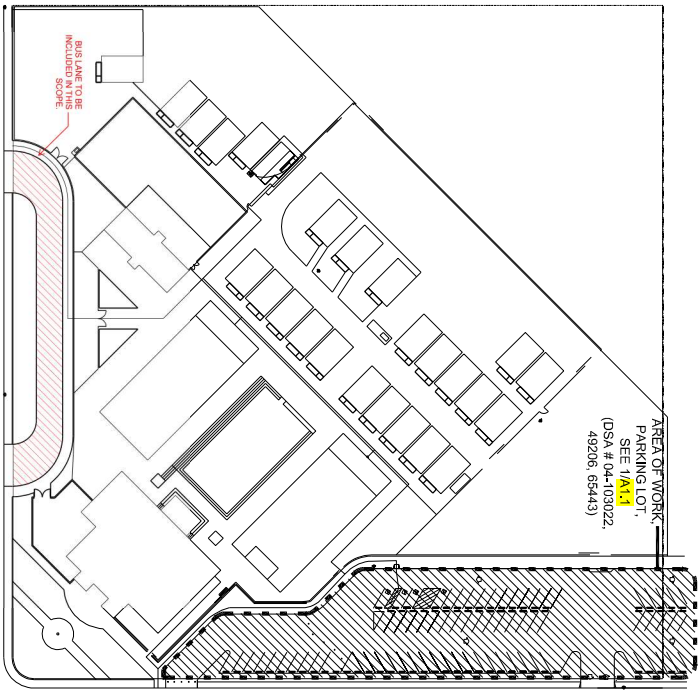
Date: 06/03/2022

<u>School</u>	<u>Item</u>	<u>Area</u>	<u>Detail / Sheet</u>	<u>Work Required</u>
<u>Brentwood Elementary School</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 250 LF	1	Parking Lot A	A1.1	Seal & Stripe Per Plan
	2	Parking Lot B	A1.1	Seal & Stripe Per Plan
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (2) sign poles. Install all signs as reflected on plans, except Keynote 0218. New signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>Challenger School of Sports & Fitness</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 750 LF Cross Slope at Accessible Crosswalk within tolerance	3	Parking Lot A	A1.1	Seal & Stripe Per Plan
	4	Parking Lot B	A1.1	Seal & Stripe Per Plan
	5	Parking Lot A	4/A1.1	Add domes to Southern Concrete Curb Ramp to conform to Detail 13/A2.1
	6	Parking Lot A	4/A1.1	Add domes to Southern Concrete Curb Ramps to conform to Detail 13/A2.1
	7	Parking Lot A	4/A1.1	Add domes to Northern Concrete Curb Ramp to conform to Detail 13/A2.1
	8	Parking Lot B	3/A1.1	Add domes to Southern Concrete Curb Ramp to conform to Detail 13/A2.1
	9	Parking Lot B	2/A1.1	Passenger Drop-Off Zone missing domes per note 0271.
	Gen Note #2	Site	A1.1/A2.1	Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>Discovery School of the Arts</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 500 LF Cross Slope at Accessible Crosswalk within tolerance	10	Parking Lot A	A1.1	Seal & Stripe Per Plan
	11	Parking Lot A	2/A1.1	Existing AC Ramp to be demolished (225 sf) and new Concrete Curb Ramp installed per Detail 13/A2.1
	12	Parking Lot A	2/A1.1	Hatched area currently exceeds 2% max slope
	13	Parking Lot A	1/A1.1	Passenger Loading Zone to conform to Detail 12/A2.1 - remove and replace 150 sf of concrete and install new truncated domes to conform to detail.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (2) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>Liberty School of Creativity & Innovation</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 300 LF	14	Area 1	A1.1	Seal & Stripe Per Plan, Bus Circle Included.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (4) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>Park View Preparatory School</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 250 LF	15	Staff Parking Lot	A1.1	Seal & Stripe Per Plan, Front Parking Lot Included.
	16	Staff Parking Lot	4/A1.1	Dome layout to match plan and conform with detail 14 & 18/A2.1. Reference Keynote 0301 for Concrete demo at this area.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (4) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>Puesta Del Sol Elementary School</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 600 LF Cross Slope at Accessible Crosswalk within tolerance	17	Parking Lot A	A1.1	Seal & Stripe Per Plan
	18	Parking Lot B	A1.1	Seal & Stripe Per Plan
	19	Parking Lot A	5/A1.1	Eastern Concrete Curb Ramp to conform to Detail 13/A2.1 - Concrete Demo to be included of 25 SF
	20	Parking Lot A	4/A1.1	All Items shown on this detail to be added per plan.
	21	Parking Lot B	3/A1.1	All Items shown on this detail to be added per plan.
	Gen Note #2	Site	A1.1/A2.1	Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>Village STEAM School</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 250 LF Cross Slope at Accessible Crosswalk within tolerance	22	Parking Lot B	A1.1	Seal & Stripe Per Plan, add Parking Lot A Striping.
	23	Parking Lot B	2/A1.1	Add all items shown on detail 2/A1.1.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (2) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
<u>West Palms Conservatory</u> General Site Notes No Potholes Crack-Fill Greater Than 3/4": 900 LF	24	Visitor Parking Lot	A1.1	Seal & Stripe Per Plan
	25	Staff Parking Lot	A1.1	Seal & Stripe Per Plan
	26	Staff Parking Lot	A1.1	Fix curb transition to Parking Lot - slope is too steep.
	Gen Note #2	Site	A1.1/A2.1	Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.

VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT AT LIBERTY SCHOOL OF CREATIVITY AND INNOVATION VICTOR ELEMENTARY SCHOOL DISTRICT VICTORVILLE, CALIFORNIA

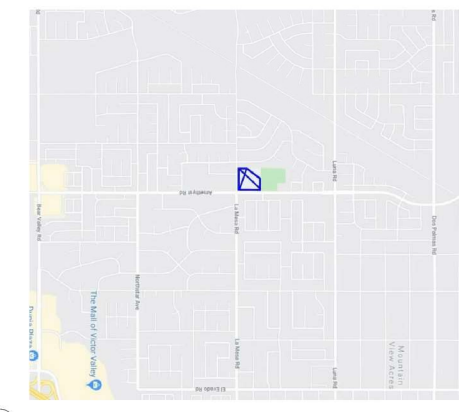
GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID DAMAGE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SUCH UTILITY IS OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS.
3. THESE DOCUMENTS AND THE TERMS AND CONDITIONS OF THE CONTRACT SHALL BE THE PROPERTY OF WILC ARCHITECTS, INC., AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WILC ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE INFORMATION INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. CONTRACTOR SHALL POSSESS A CLASS B OR THE APPROPRIATE CLASS C CONTRACTOR'S LICENSE PURSUANT TO PROFESSIONAL CODE SECTION 70653.9, THE CONTRACTOR MUST MAINTAIN THE LICENSE THROUGHOUT THE DURATION OF THIS CONTRACT.
6. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: THE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CALIFORNIA FIRE CODE) TITLE 24, PART 9, CHAPTERS 9 AND CHAPTER 33.
 - B. ACCESS ROADS: THE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTERS, SECTION 9014 AND CHAPTER 33, SECTION 3310.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE PROTECTED IN ACCORDANCE WITH CHAPTERS, SECTION 9014 AND CHAPTER 33, SECTION 3312.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FREIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, STAIRWAYS OR THE ELEVATORS.
 - E. ALTERNATIVES OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY CALIFORNIA FIRE CODE (CALIFORNIA FIRE CODE) TITLE 24, PART 9, CHAPTERS 9 AND CHAPTER 33. FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR MAINTENANCE IN ACCORDANCE WITH CHAPTER 33, SECTION 3310. EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING DEPARTMENT.
8. ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24 CALIFORNIA CODE OF REGULATIONS (CALIFORNIA CODE OF REGULATIONS).
9. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT APPROVED BY THE OWNER OF THE PROJECT AS REQUIRED BY TITLE 24, CHAPTER 11, SECTION 4428.
10. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
11. CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE WORK TO BE COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS.
13. ALL SLOPE AND CROSS SLOPE OF ACCESSIBLE ROUTE PAVING INDICATED ON THESE DRAWINGS WAS DESIGNED IN COMPLIANCE WITH THE DRY ADA STANDARDS FOR ACCESSIBLE ROUTE PAVING AS REQUIRED BY THE CALIFORNIA BUILDING CODE (CBC) TITLE 24 PART 2, CHAPTER 11 OF THE CALIFORNIA CODE OF REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS.



(E) SITE PLAN - OVERALL

1/48" = 1'-0"



VICINITY MAP

PROJECT TEAM

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
1230 SECOND AVENUE
VICTORVILLE, CA 92086
PHONE: (760) 246-9191 FAX: (760) 246-9145

ARCHITECT
WILC ARCHITECTS, INC.
8183 ROCHESTER AVE., SUITE 110
RANCHO CARMONA, CA 91720
PHONE: (909) 960-9699 FAX: (909) 960-9680

SCOPE OF WORK DESCRIPTION

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DESIGN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY UNEXPECTED CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS.

DRAWING INDEX

DWG REF NO	DESCRIPTION
1/A1	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A2	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A3	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A4	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A5	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A6	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A7	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A8	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A9	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A10	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A11	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A12	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A13	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A14	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A15	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A16	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A17	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A18	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A19	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A20	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A21	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A22	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A23	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A24	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A25	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A26	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A27	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A28	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A29	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A30	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A31	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A32	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A33	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A34	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A35	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A36	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A37	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A38	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A39	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A40	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A41	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A42	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A43	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A44	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A45	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A46	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A47	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A48	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A49	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A50	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A51	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A52	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A53	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A54	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A55	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A56	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A57	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A58	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A59	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A60	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A61	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A62	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A63	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A64	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A65	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A66	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A67	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A68	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A69	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A70	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A71	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A72	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A73	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A74	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A75	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A76	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A77	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A78	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A79	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A80	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A81	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A82	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A83	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A84	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A85	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A86	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A87	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A88	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A89	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A90	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A91	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A92	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A93	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A94	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A95	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A96	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A97	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A98	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A99	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW
1/A100	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S REVIEW

PROJECT ADDRESS:
1200 AMETHYST RD, VICTORVILLE, CA 92086

VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT AT LIBERTY SCHOOL OF CREATIVITY AND INNOVATION

VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA

WILC ARCHITECTS

SOUTHERN CALIFORNIA
8183 ROCHESTER AVE., SUITE 110
RANCHO CARMONA, CA 91720
TEL: 909-960-9699
WWW.WILCARCHITECTS.COM

APP'D BY: [Signature]
REVISED FOR: [Signature]
DATE: 05/17/2020

CONSULTANT

DATE: 05/17/2020 SCALE: []

PROJECT NUMBER: 2011200

GENERAL NOTES & PROJECT DIRECTORY & OVERALL SITE PLAN

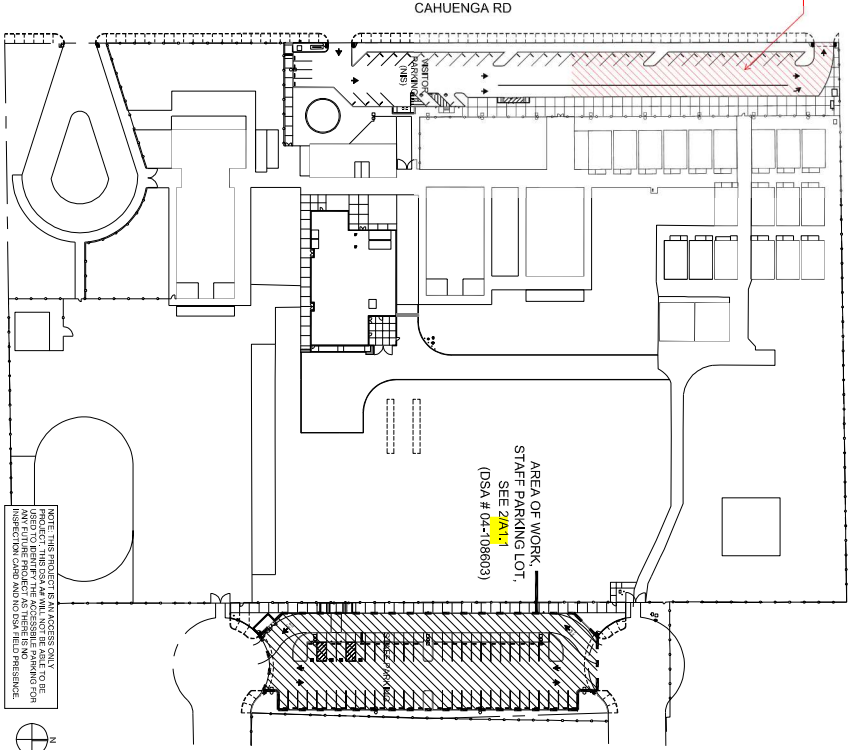
DRAWING NUMBER: A0.1

VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT PARK VIEW PREPARATORY SCHOOL VICTOR ELEMENTARY SCHOOL DISTRICT VICTORVILLE, CALIFORNIA

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SHEETS.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND EXCAVATING AND BENCHMARKING ON THE SITE TO WORD INTERFERING EXISTING PIPES OR CONFLICTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR STRUCTURES WHETHER OR NOT SHOWN OR DETAILS AND INSTALLED BY OTHER CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF W.C. ARCHITECTS, INC. AND ARE NOT TO BE USED, REPRODUCED OR IN ANY MANNER FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF W.C. ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING OR TO BE EXISTING IS THE PROPERTY OF THE OWNER. THE ARCHITECT'S INC IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION BELIEVED TO BE EXISTING NOR IS W.C. ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN MADE BY THE OWNER OR ANY OTHER PARTY.
5. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL ACCESSORIES AND DETAILS TO PUBLIC CONTRACT CODE SECTION 3300 AND BUSINESS AND PROFESSIONS CODE SECTION 26000. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL ACCESSORIES AND DETAILS TO PUBLIC CONTRACT CODE SECTION 3300 AND BUSINESS AND PROFESSIONS CODE SECTION 26000.
6. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CALIFORNIA CODE OF REGULATIONS (CORN) TITLE 24 PART 9, CHAPTER 3 AND CHAPTER 33).
 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS WITH CHAPTER 6 SECTION 604.4 AND CHAPTER 33.110.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 6 SECTION 607.2 AND CHAPTER 33. SECTION 33.2.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERNATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE ALARMS ARE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33. SECTION 33.6. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL THE BUILDING IS FULLY DEMOLISHED AND THE BUILDING OFFICIAL IS SATISFIED THAT THE BUILDING IS SAFE TO BE DEMOLISHED.
7. ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24 CALIFORNIA CODE OF REGULATIONS (CORN).

AREA TO BE INCLUDED IN SCOPE, EXISTING LOT (CHANGE STRIPPED PER PLAN)



(E) SITE PLAN - OVERALL

1/48" = 1'-0"

VICINITY MAP

1" = 400'-0"

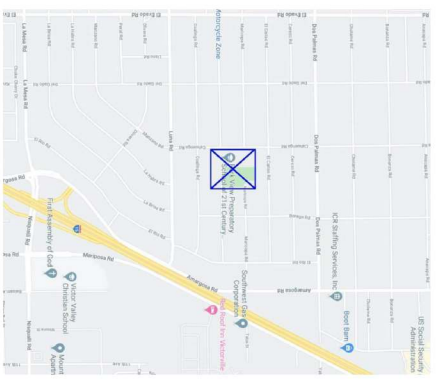
NOTE: THIS PROJECT IS AN ACCESS ONLY PROJECT. THE SOA IS NOT THE AS-BUILT FOR ANY FUTURE PROJECT AS THERE IS NO RECORD DRAWING AND NO AS-BUILT RECORDS.

PROJECT TEAM	
OWNER	ARCHITECT
VICTOR ELEMENTARY SCHOOL DISTRICT 12219 SECOND AVENUE VICTORVILLE, CA 92385 PHONE: (760) 245-0991	W.C. ARCHITECTS, INC. 6163 ROCHESTER AVE., SUITE 100 RANCHO CALAMOND, CA 91720 PHONE: (909) 982-9899 FAX: (909) 982-9899

SCOPE OF WORK DESCRIPTION

THE SCOPE OF THE WORK AS STATED BELOW IS FOR SOA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, APPLYING SLURRY COATING AT EXISTING PARKING LOTS AND ASSOCIATED SITE WORKS.

DRAWING INDEX	
DWG REF NO	DESCRIPTION
AA1	GENERAL NOTES PROJECT DIRECTOR'S & GENERAL SITE PLAN
AA2	SLURRY COAT DETAILS
TOTAL 3 SHEETS	



W.C. ARCHITECTS

ARCHITECTS

SOUTHERN CALIFORNIA

8163 ROCHESTER AVENUE, SUITE 100
RANCHO CALAMOND, CALIFORNIA 91720
TEL: 909.982.9899
WWW.WCARCHITECTS.COM

APPROVED FOR CONSTRUCTION

APP'D BY: 11/05/2018 INC
SCALE: AS SHOWN
DATE: 11/05/2018

**VICTOR ELEMENTARY SCHOOL
PARKING LOT SLURRY COAT AT
PARK VIEW PREPARATORY SCHOOL**

VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA

GENERAL NOTES & PROJECT DIRECTORY & OVERALL SITE PLAN

Sheet Number: **A0.1**

NO	DATE	BY	DESCRIPTION

DATE: 03/17/2020 SCALE: AS SHOWN
PROJECT NUMBER: 20181030

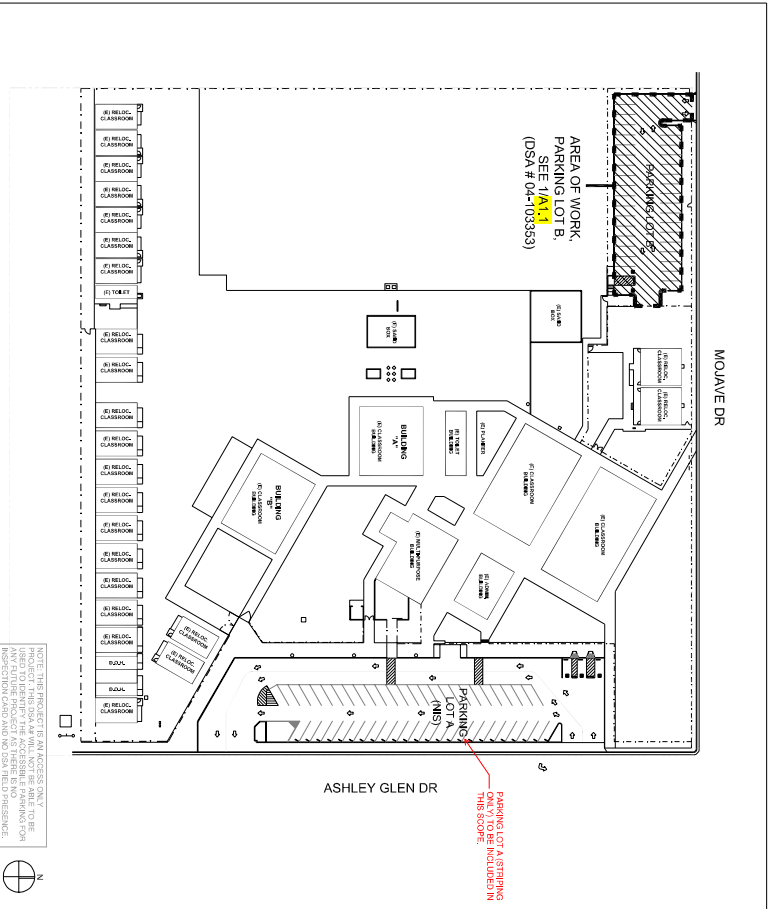
VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT

VILLAGE STEAM SCHOOL

VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CALIFORNIA

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID DAMAGE TO UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ANY WORK SHOWN AS EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT UPON DISCOVERY OF ANY UNDETECTED UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT UPON DISCOVERY OF ANY UNDETECTED UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT UPON DISCOVERY OF ANY UNDETECTED UTILITIES.
3. THESE DOCUMENTS AND THE FIELD AND OTHERS ARCHITECT'S LOG, AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE AUTHORIZATION OF WJC ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THE INFORMATION IS BELIEVED TO BE CORRECT, THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. CONTRACTOR SHALL POSSESS A CLASS B OR THE APPROPRIATE CLASS C CONTRACTOR'S LICENSE PURSUANT TO THE PROFESSIONAL ENGINEERING BOARD'S AND PROFESSIONAL CODE SECTION 70663.5. THE CONTRACTOR MUST MAINTAIN THE LICENSE THROUGHOUT THE DURATION OF THIS CONTRACT.
6. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: THE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA FIRE CODE (CFC) PART 9, CHAPTER 9 AND CHAPTER 33, SECTION 33.2.
 - B. ACCESS ROADS: THE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTERS, SECTION 901.4 AND CHAPTER 33, SECTION 33.2.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE PROTECTED AND ACCESS TO THE MAINS SHALL BE MAINTAINED FOR THE PURPOSE OF FIRE-FIGHTING. ACCESS TO THE MAINS SHALL NOT BE INTERRUPTED. ACCESS TO THE MAINS SHALL NOT BE INTERRUPTED.
 - D. ALTERNATES OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - E. DEMOLITION OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. FIRE WATCH: MAIN FIRE WATCH WHEN REQUIRED BY CALIFORNIA FIRE CODE (CFC) PART 9, CHAPTER 9 AND CHAPTER 33, SECTION 33.2. PROTECTION SYSTEMS ARE SHUT DOWN FOR MAINTENANCE OR REPAIR. PROTECTION SYSTEMS ARE SHUT DOWN FOR MAINTENANCE OR REPAIR. PROTECTION SYSTEMS ARE SHUT DOWN FOR MAINTENANCE OR REPAIR.
7. ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS (CGR) PART 24.2.
8. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE ORDER (CCO) AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 43.5.
9. GRADING PLANS, DAMAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH AND SAFETY PLANS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
10. CONTRACTOR TO INSTALL AND/OR ASSUME RESPONSIBILITY FOR PROTECTING EXISTING UTILITIES AND STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND STRUCTURES TO REMAIN.
11. ALL SCOPE AND GRASS ROOTS OF ACCESS ROUTE DRAWINGS SHALL BE APPROVED BY THE CHAIRMAN OF THE CALIFORNIA CODE OF REGULATIONS (CGR) TITLE 24, PART 24.2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR INCORPORATED INTO THESE DRAWINGS AS A RESULT.
12. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ARCHITECT, ALTERNATOR OR REGISTERED PROFESSIONAL ENGINEER SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA CODE OF REGULATIONS (CGR) TITLE 24, PART 24.2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR INCORPORATED INTO THESE DRAWINGS AS A RESULT.
13. ALL SCOPE AND GRASS ROOTS OF ACCESS ROUTE DRAWINGS SHALL BE APPROVED BY THE CHAIRMAN OF THE CALIFORNIA CODE OF REGULATIONS (CGR) TITLE 24, PART 24.2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR INCORPORATED INTO THESE DRAWINGS AS A RESULT.



(E) SITE PLAN - OVERALL 1/48" = 1'-0"

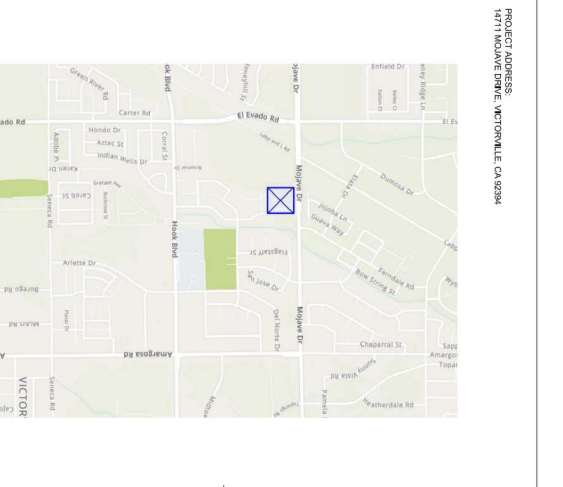
PROJECT TEAM	
OWNER VICTOR ELEMENTARY SCHOOL DISTRICT 1230 SECOND AVENUE VICTORVILLE, CA 92386 PHONE: (760) 246-4911 FAX: (760) 246-4914	ARCHITECT WJC ARCHITECTS, INC. 8183 ROCHESTER AVE., SUITE 100 RANCHO CARMONA, CA 91720 PHONE: (909) 866-9980 FAX: (909) 866-9980

SCOPE OF WORK DESCRIPTION

THE SCOPE OF THE WORK AS STATED BELOW IS FOR RSM PLAN REVIEW PURPOSES ONLY AND DOES NOT INCLUDE THE DESIGN AND CONSTRUCTION OF THE PROJECT DOCUMENTS, APPLYING SLURRY COATING AT EXISTING PARKING LOTS AND ASSOCIATED SITE WORKS.

DRAWING INDEX

DWG REF NO	DESCRIPTION
01	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S PLAN
02	GENERAL NOTES PROJECT DIRECTOR'S & OWNER'S PLAN
03	SITE PLAN



VICINITY MAP

WJC ARCHITECTS
 8183 ROCHESTER AVE., SUITE 100
 RANCHO CARMONA, CA 91720
 TEL: 909-866-9980
 FAX: 909-866-9980
 WWW.WJCARCHITECTS.COM

**VICTOR ELEMENTARY SCHOOL
PARKING LOT SLURRY COAT AT
VILLAGE STEAM SCHOOL**
 VICTOR ELEMENTARY SCHOOL DISTRICT
 VICTORVILLE, CA

CONSULTANT
 Victor J. Carmona
 Professional Engineer
 No. 10000
 State of California

NO	DATE	BY	DESCRIPTION

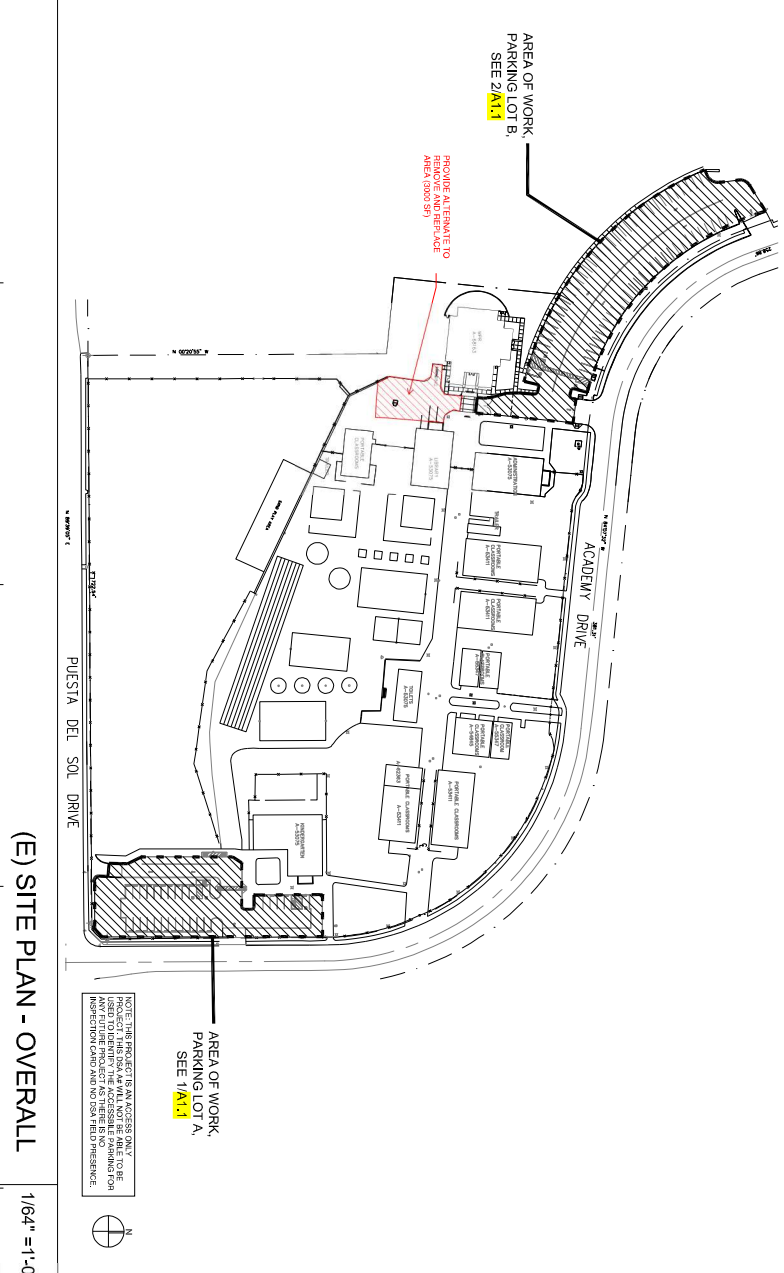
DRAWING NUMBER: **A0.1**
 GENERAL NOTES & PROJECT DIRECTORY & OVERALL SITE PLAN
 DATE: 03/17/2020 SCALE: PROJECT NUMBER: 2011200

APPROVED FOR SUBMITTAL
 APR 16 11:00AM '20
 REVISIONS FOR
 DATE: 03/17/2020

VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT PUESTA DEL SOL ELEMENTARY SCHOOL VICTORVILLE, CA

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND EVALUATING AND TESTING ON THE SITE TO VERIFY EXISTING UTILITIES WHETHER SUCH INFORMATION OR NOT BE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNEXPECTED CONDITIONS BE DISCOVERED BY CONTRACTOR'S UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE EXECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE FEES AND OTHERS ARCHITECT'S FEE, AND NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF W.C. ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THE ARCHITECT HAS MADE REASONABLE ATTEMPTS TO VERIFY THE ACCURACY OF ANY WORK SHOWN AS EXISTING, THE ARCHITECT DOES NOT WARRANT THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING.
- EXISTING AND/OR W.C. ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
 - GENERAL: THE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA SECTION 9014 AND CHAPTER 33 PART 9, CHAPTER 6 AND CHAPTER 33.
 - ACCESS SPACES: THE DEPARTMENT ACCESS SPACES SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTERS SECTION 9014 AND CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE PROTECTED IN ACCORDANCE WITH CALIFORNIA SECTION 9014 AND CHAPTER 33 SECTION 3312.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF REPAIRING SHALL BE PROVIDED TO CONTRACTOR AT ALL TIMES. CONTRACTOR SHALL NOT BLOCK ACCESS TO BUILDING ACCESS.
 - ALTERATION OF BALANCE: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - SEPARATION OF BALANCE: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
- ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS (CORS).
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN APPROVED CONTRACTOR IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS SECTION 4238.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL, HEALTH AND SAFETY REQUIREMENTS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- CONTRACTOR TO INITIAL AND/OR ASSUME RESPONSIBILITY OF EXISTING TEMPORARY CONSTRUCTION FENCE AS REQUIRED BY CALIFORNIA CODE OF REGULATIONS SECTION 4238. CONTRACTOR SHALL MAINTAIN WITHOUT RESTRICTING STUDENT TRAFFIC, AT THE END OF CONSTRUCTION, REMOVE ALL DAMAGE TO CONCRETE OR ASPHALT TO DISTRICT'S SATISFACTION. THE METHOD OF THESE DRAWINGS AND SPECIFICATIONS RECONSTRUCTION IS IN COMPLIANCE WITH THE REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE OBSERVED BY THE ARCHITECT, THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. THE ARCHITECT WOULD NOT COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA CODE OF REGULATIONS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA CODE OF REGULATIONS. NECESSARY INFORMATION REQUIRED TO CORRECT CONTRACT SHALL BE PROVIDED TO THE ARCHITECT. A CHANGE ORDER MAY BE ISSUED TO ADJUST THE CONTRACT DOCUMENT SHALL BE APPROVED BY THE OWNER OR THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGES ORDER.
- ALL SIGN AND CROSS SIGN OF ACCESSIBLE ROUTE PAVING COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE ACCESSIBILITY STANDARDS CHAPTER 11B OF THE CALIFORNIA CODE OF REGULATIONS (CORS) SHALL BE OBTAINED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. APPLYING SLURRY COATING AT EXISTING PARKING LOTS AND ASSOCIATED SITE WORKS.



PROJECT TEAM

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12319 SECOND AVENUE
RANCHO CALIFORNIA, CA 91730
PHONE: (760) 246-1891 FAX: (760) 246-9246

ARCHITECT
W.C. ARCHITECTS, INC.
8183 ROCHESTER AVE., SUITE 110
RANCHO CALIFORNIA, CA 91730
PHONE: (909) 864-0069 FAX: (909) 864-9860

SCOPE OF WORK DESCRIPTION

THE SCOPE OF THE WORK AS STATED BELOW IS FOR BSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE OBTAINED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. APPLYING SLURRY COATING AT EXISTING PARKING LOTS AND ASSOCIATED SITE WORKS.

DWG REF NO	DESCRIPTION
101	GENERAL NOTES & REGULATIONS
102	ENLARGED SITE PLAN
103	SECTION 11B
TOTAL: 3 SHEETS	

VICINITY MAP



PROJECT ADDRESS:
13867 ACADEMY STREET, VICTORVILLE, CA 92284



ARCHITECTS
W.C.
FACILY SERVED
SOUTHERN CALIFORNIA
6183 ROCHESTER AVENUE, SUITE 110
RANCHO CALIFORNIA, CA 91730
TEL: (909) 864-0069
WWW.WCARCHITECTS.COM

APR 24, 11:00AM INCL
REVISED FOR 2010
DATE: 04/23/2010

**VICTOR ELEMENTARY SCHOOL
PARKING LOT SLURRY COAT AT
PUESTA DEL SOL ELEMENTARY SCHOOL**
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA

CONSULTANT

DATE: 03/17/2010 SCALE: PROJECT NUMBER: 2011500

GENERAL NOTES & PROJECT DIRECTORY & OVERALL SITE PLAN

DRAWING NUMBER: **A0.1**

EXHIBIT B - ZERO CURB DETAIL

