

BID # 03-220616

ADA UPGRADES & PARKING LOT STRIPE & SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA

June 13th, 2022

ADDENDUM – 02

PLANS & SPECIFICATIONS

- ITEM NO. 1 PROJECT MANUAL, SPECIFICATION SECTION- 001116 NOTICE INVITING BIDS
- A. The bid deadline remains 10:00 o'clock AM. on the **16th day of June 2022**.
The location for receipt of Bids remains the District Office for Victor Elementary School District, located at 12219 2nd Ave., Victorville, CA 92395.
- ITEM NO. 2 PROJECT MANUAL, PLANS SECTION - EXHIBIT A & PLAN SHEETS
- A. Revised Exhibit A to reflect additional scope items at Brentwood and Discovery pertaining to removal and replacement of existing asphalt.
B. Revised plan sheets A0.1 at Brentwood and Discovery to reflect area of asphalt R&R.
C. Revised plan sheet A1.1 at Brentwood to reflect area of asphalt R&R.

ADDENDUM ATTACHMENTS

- **Exhibit A – Project Scope dated 6/10/22**
- **Sheet A0.1 – Brentwood**
- **Sheet A1.1 - Brentwood**
- **Sheet A0.1 – Discovery**

END OF ADDENDUM 02

VESD ADA Upgrades & Parking Lot Stripe & Seal

Exhibit A

Date: 06/10/2022

School	Item	Area	Detail / Sheet	Work Required
Brentwood Elementary School General Site Notes No Potholes Crack-Fill Greater Than 3/4": 250 LF	1	Parking Lot A	A1.1	Seal & Stripe Per Plan
	2	Parking Lot B	A1.1	Seal & Stripe Per Plan
	2A	Parking Lot B	A1.1	Remove and replace 350 SF of asphalt to correct slope
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (2) sign poles. Install all signs as reflected on plans, except Keynote 0218. New signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
Challenger School of Sports & Fitness General Site Notes No Potholes Crack-Fill Greater Than 3/4": 750 LF Cross Slope at Accessible Crosswalk within tolerance	3	Parking Lot A	A1.1	Seal & Stripe Per Plan
	4	Parking Lot B	A1.1	Seal & Stripe Per Plan
	5	Parking Lot A	4/A1.1	Add domes to Southern Concrete Curb Ramp to conform to Detail 13/A2.1
	6	Parking Lot A	4/A1.1	Add domes to Southern Concrete Curb Ramps to conform to Detail 13/A2.1
	7	Parking Lot A	4/A1.1	Add domes to Northern Concrete Curb Ramp to conform to Detail 13/A2.1
	8	Parking Lot B	3/A1.1	Add domes to Southern Concrete Curb Ramp to conform to Detail 13/A2.1
	9	Parking Lot B	2/A1.1	Passenger Drop-Off Zone missing domes per note 0271.
	Gen Note #2	Site	A1.1/A2.1	Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
Discovery School of the Arts General Site Notes No Potholes Crack-Fill Greater Than 3/4": 500 LF Cross Slope at Accessible Crosswalk within tolerance	10	Parking Lot A	A1.1	Seal & Stripe Per Plan
	10A	Parking Lot A	A1.1	Remove and replace 2800 SF of asphalt.
	11	Parking Lot A	2/A1.1	Existing AC Ramp to be demolished (225 sf) and new Concrete Curb Ramp installed per Detail 13/A2.1
	12	Parking Lot A	2/A1.1	Hatched area currently exceeds 2% max slope
	13	Parking Lot A	1/A1.1	Passenger Loading Zone to conform to Detail 12/A2.1 - remove and replace 150 sf of concrete and install new truncated domes to conform to detail.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (2) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
Liberty School of Creativity & Innovation General Site Notes No Potholes Crack-Fill Greater Than 3/4": 300 LF	14	Area 1	A1.1	Seal & Stripe Per Plan, Bus Circle Included.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (4) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
Park View Preparatory School General Site Notes No Potholes Crack-Fill Greater Than 3/4": 250 LF	15	Staff Parking Lot	A1.1	Seal & Stripe Per Plan, Front Parking Lot Included.
	16	Staff Parking Lot	4/A1.1	Dome layout to match plan and conform with detail 14 & 18/A2.1. Reference Keynote 0301 for Concrete demo at this area.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (4) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
Puesta Del Sol Elementary School General Site Notes No Potholes Crack-Fill Greater Than 3/4": 600 LF Cross Slope at Accessible Crosswalk within tolerance	17	Parking Lot A	A1.1	Seal & Stripe Per Plan
	18	Parking Lot B	A1.1	Seal & Stripe Per Plan
	19	Parking Lot A	5/A1.1	Eastern Concrete Curb Ramp to conform to Detail 13/A2.1 - Concrete Demo to be included of 25 SF
	20	Parking Lot A	4/A1.1	All Items shown on this detail to be added per plan.
	21	Parking Lot B	3/A1.1	All Items shown on this detail to be added per plan.
	Gen Note #2	Site	A1.1/A2.1	Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
Village STEAM School General Site Notes No Potholes Crack-Fill Greater Than 3/4": 250 LF Cross Slope at Accessible Crosswalk within tolerance	22	Parking Lot B	A1.1	Seal & Stripe Per Plan, add Parking Lot A Striping.
	23	Parking Lot B	2/A1.1	Add all items shown on detail 2/A1.1.
	Gen Note #2	Site	A1.1/A2.1	Demo & Install (2) sign poles. Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.
West Palms Conservatory General Site Notes No Potholes Crack-Fill Greater Than 3/4": 900 LF	24	Visitor Parking Lot	A1.1	Seal & Stripe Per Plan
	25	Staff Parking Lot	A1.1	Seal & Stripe Per Plan
	26	Staff Parking Lot	A1.1	Fix curb transition to Parking Lot - slope is too steep.
	Gen Note #2	Site	A1.1/A2.1	Install all signs as reflected on plans, new signs to utilize existing poles.
	Gen Note #3	Site	A1.1	Existing Wheel Stops reflected properly on plans.

VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT AT BRENTWOOD ELEMENTARY SCHOOL

VICTOR ELEMENTARY SCHOOL DISTRICT VICTORVILLE, CA



ARCHITECTS
WLC

CLIENT FOCUSED • PASSION DRIVEN

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8163 ROCHESTER AVENUE, SUITE 100
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CALIFORNIA 91730-0729

TEL: 909-987-0909
www.wlcarchitects.com

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.
3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF WLC ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WLC ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, WLC ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS WLC ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. CONTRACTOR SHALL POSSESS A CLASS B OR THE APPROPRIATE CLASS C CONTRACTOR'S LICENSE PURSUANT TO PUBLIC CONTRACT CODE SECTION 3300 AND BUSINESS AND PROFESSIONS CODE SECTION 7028.15. THE CONTRACTOR MUST MAINTAIN THE LICENSE THROUGHOUT THE DURATION OF THIS CONTRACT.
6. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 5 AND CHAPTER 33.
 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 5, SECTION 501.4 AND CHAPTER 33, SECTION 3310.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 5, SECTION 501.4 AND CHAPTER 33 SECTION 3312.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS IN ACCORDANCE WITH CHAPTER 33, SECTION 3304.5. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
7. ALL WORK SHOWN ON THESE DRAWINGS SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
8. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
9. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
10. CONTRACTOR TO INSTALL AND/OR ASSUME RESPONSIBILITY OF EXISTING TEMPORARY CONSTRUCTION FENCE AS REQUIRED TO PROVIDE A CLEAR PATH OF TRAVEL AROUND ALL CONSTRUCTION AREAS AND MATERIALS WITHOUT RESTRICTING STUDENT TRAFFIC. AT THE END OF CONSTRUCTION, REPAIR ALL DAMAGE TO CONCRETE OR AC PAVING TO DISTRICT'S SATISFACTION. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CHANGE ORDER MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. A CONSTRUCTION CHANGE DOCUMENT SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGE ORDER.
12. ALL SLOPE AND CROSS SLOPE OF ACCESSIBLE ROUTE PAVING INDICATED ON THESE DRAWINGS WAS DESIGNED IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE THE ACCESSIBILITY STANDARDS OF THE CALIFORNIA BUILDING CODE, (CBC) TITLE 24, PART 2, CHAPTER 11B OF THE CALIFORNIA CODE OF REGULATIONS (CCR). STRICT EXECUTION OF THE SLOPE AND CROSS SLOPE OF ACCESSIBLE ROUTE PAVING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHOULD A CONDITION PRESENT ITSELF THAT WOULD RESULT IN AN INSTALLATION OTHER THAN WHAT IS INDICATED IN THESE DRAWINGS, WLC ARCHITECTS, INC. SHALL BE NOTIFIED IN WRITING AND A COMPLIANT RESOLUTION WILL BE FORMULATED.

PROJECT TEAM

<p>OWNER VICTOR ELEMENTARY SCHOOL DISTRICT 12219 SECOND AVENUE VICTORVILLE, CA 92395 PHONE: (760) 245-1691</p>	<p>ARCHITECT WLC ARCHITECTS, INC. 8163 ROCHESTER AVE., SUITE 100 RANCHO CUCAMONGA, CA 91730 PHONE: (909) 987-0909 FAX: (909) 980-9980</p>
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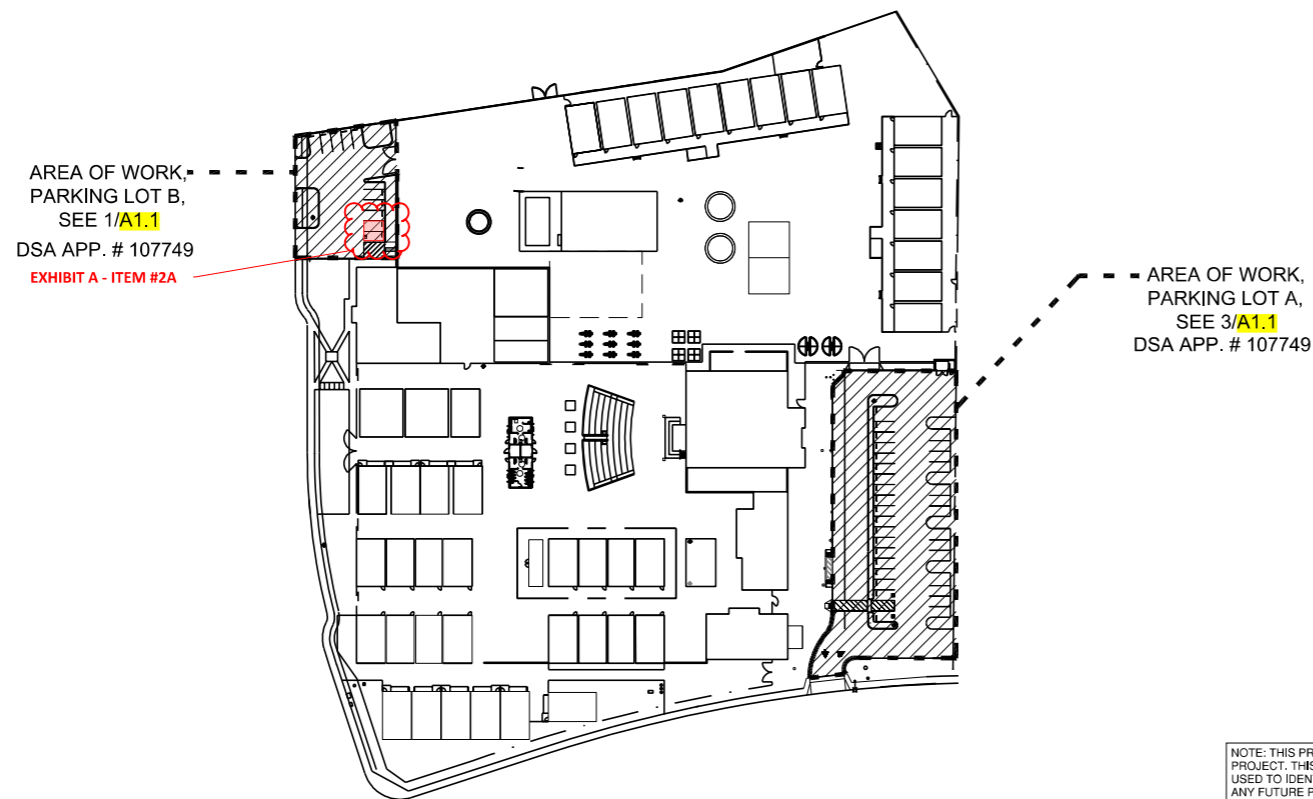
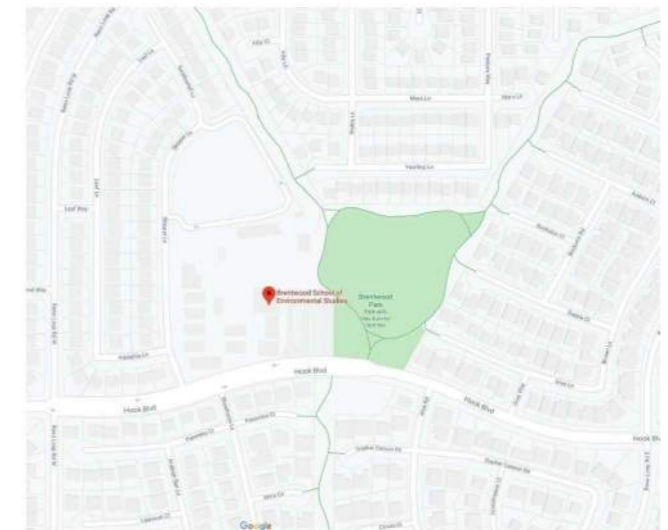
SCOPE OF WORK DESCRIPTION

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. APPLYING SLURRY COATING AT EXISTING PARKING LOTS AND ASSOCIATED SITE WORKS.

DRAWING INDEX

DWG REF NO	DESCRIPTION
A0.1	GENERAL NOTES & PROJECT DIRECTORY & OVERALL SITE PLAN
A1.1	ENLARGED SITE PLANS
A2.1	SITE DETAILS
TOTAL NUMBER OF SHEETS 3	

PROJECT ADDRESS:
13962 HOOK BLVD, VICTORVILLE, CA 92394



NOTE: THIS PROJECT IS AN ACCESS ONLY PROJECT. THIS DSA # WILL NOT BE ABLE TO BE USED TO IDENTIFY THE ACCESSIBLE PARKING FOR ANY FUTURE PROJECT AS THERE IS NO INSPECTION CARD AND NO DSA FIELD PRESENCE.

(E) SITE PLAN - OVERALL 1/64" = 1'-0"

VICINITY MAP

**VICTOR ELEMENTARY SCHOOL
PARKING LOT SLURRY COAT AT
BRENTWOOD ELEMENTARY SCHOOL
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA**



CONSULTANT

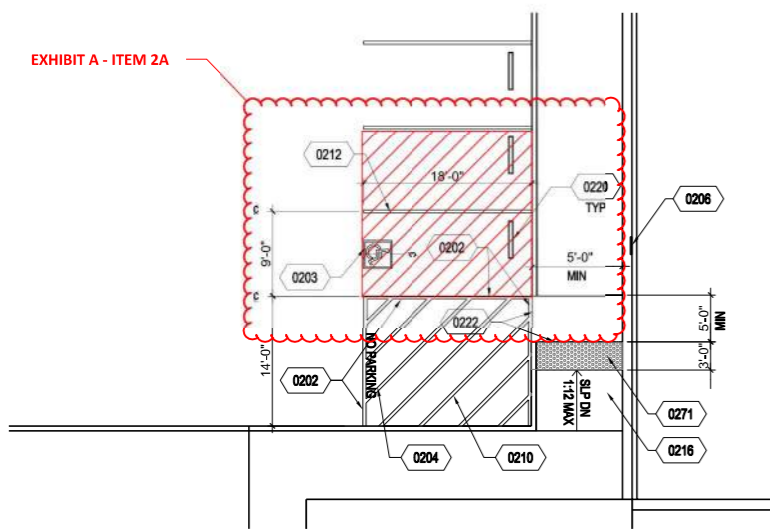
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 03/17/2020 SCALE: _____
PROJECT NUMBER: 2011200

**GENERAL NOTES
& PROJECT DIRECTORY
& OVERALL SITE PLAN**

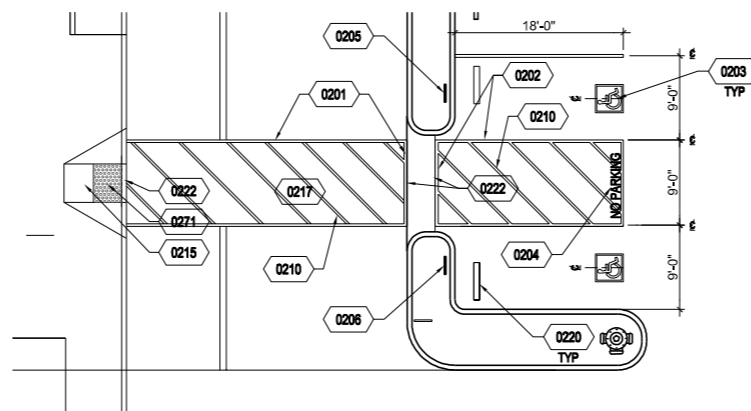
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EXHIBIT A - ITEM 2A

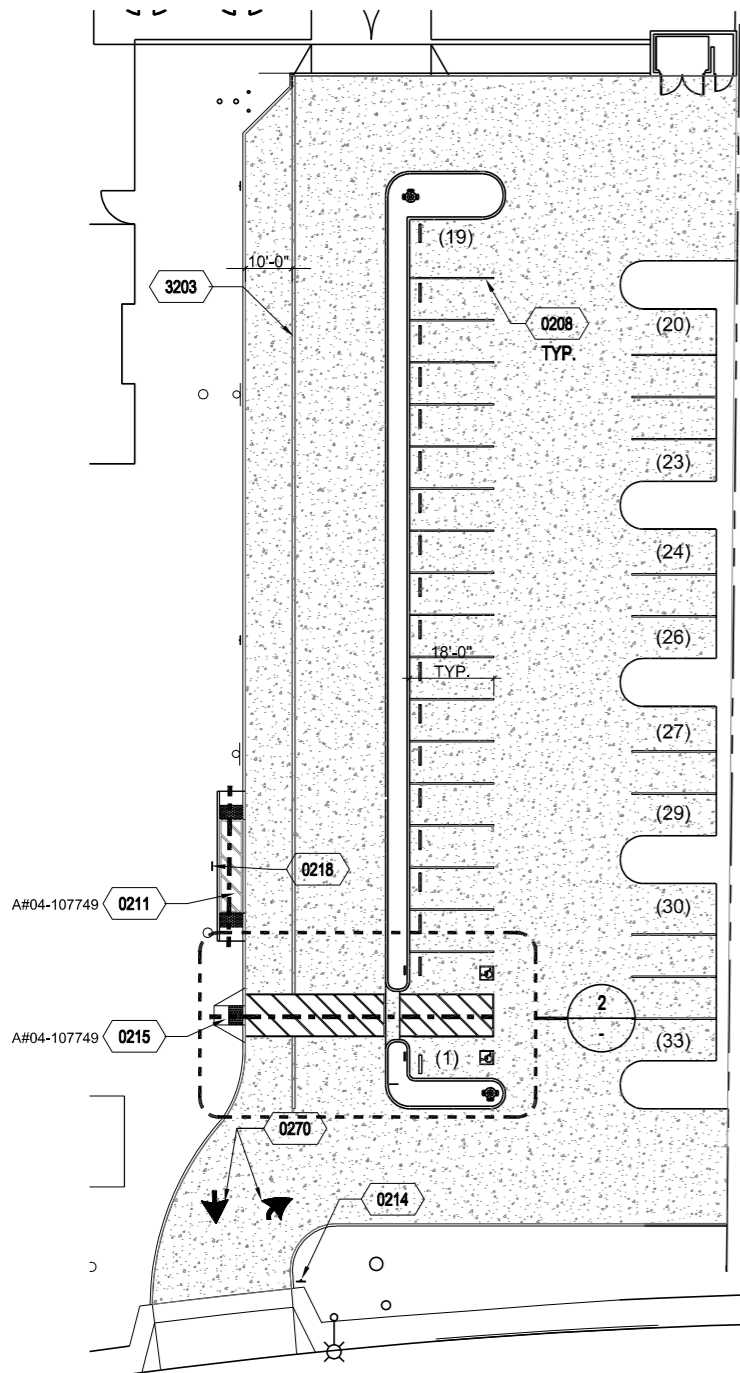


ACCESSIBLE PARKING STALL AT PARKING LOT B 1/8" = 1'-0" 4

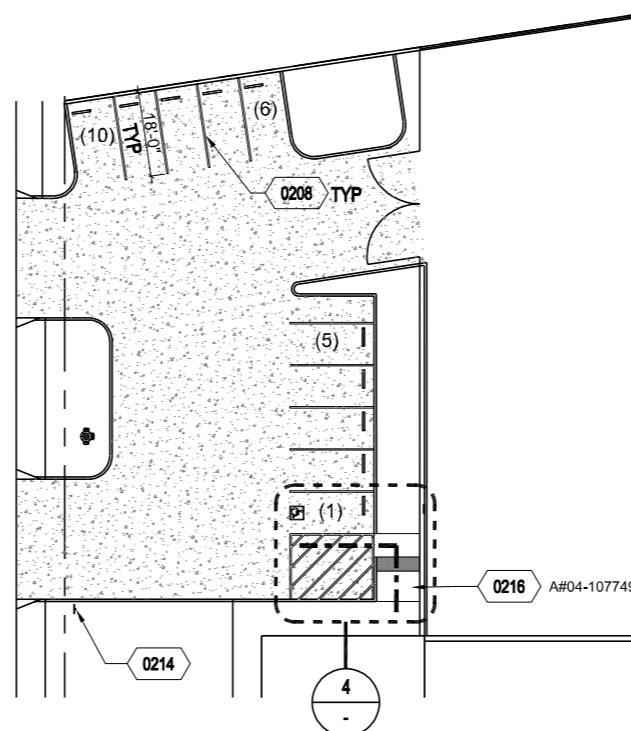
NOTE:
1. REFER TO DETAIL 10/A2.1 FOR ADDITIONAL INFO.



ACCESSIBLE PARKING STALL AT - PARKING LOT A 1/8" = 1'-0" 2



ENLARGED SITE PLAN - PARKING LOT A 1/16" = 1'-0" 3



ENLARGED SITE PLAN - PARKING LOT B 1/16" = 1'-0" 1

GENERAL NOTES

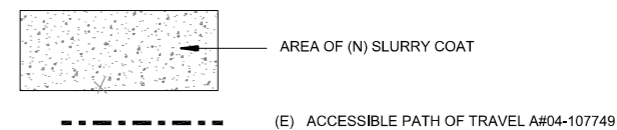
DSA PR 15-01: REQUIRED INFORMATION FOR PATH OF TRAVEL UPGRADES ON CONSTRUCTION DOCUMENTS

"DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT: THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS MEETS THE REQUIREMENTS OF THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE (CBC) ACCESSIBLE PROVISION FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OF PORTIONS OF THE POT THAT WERE DETERMINED TO BE NON-COMPLIANT WITH THE CBC HAVE BEEN IDENTIFIED AND THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS, INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CBC COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THE ITEMS SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT"

- NOTE:
- 1.SLOPE OF PAVING AT ACCESSIBLE LOADING AREA NOT TO EXCEED 2% IN ANY DIRECTION.
 - 2.CONTRACTOR SHALL REPLACE ACCESSIBLE PARKING SIGN AND VAN PARKING SIGN AND INSTALL ON (E) POLE, AND VERIFY THE POLE IS ALIGN IN THE CENTER OF THE STALL AND 12" MIN FROM CURB FACE. RELOCATE POLE W/ (N) FOOTING IF POLE IS NOT ALIGN IN THE CENTER OF THE STALL AS NEEDED. PROVIDE (N) POLE W/ (N) FOOTING IF (E) ONE IS NOT IN PLACE.
 - 3.LOCATION OF WHEEL STOP IN ACCESSIBLE PARKING STALLS TO CONFORM WITH LOCATION AS SHOWN ON SHEET A2.1, RELOCATE AS NEEDED, AND INSTALL WITH (2) #4 STEEL DOWEL W/ 6" EMBEDMENT. WHEEL STOP SHALL BE PAINTED BLUE
 - 4.CONTRACTOR SHALL PAINT ALL CURB TOP AND FACE IMMEDIATELY ADJACENT TO ACCESSIBLE PARKING STALL BLUE
 - 5.CONTRACTOR SHALL INSTALL (N) TRUNCATED DOME IF (E) LOCATION OR CONFIGURATION AND SIZE DOES NOT MATCH OR CONFORM TO WHAT'S SHOWN ON APPROVED PLAN, OR IF (E) TRUNCATED DOME IS NOT RECESSED PER DET 18/A2.1.

LEGEND

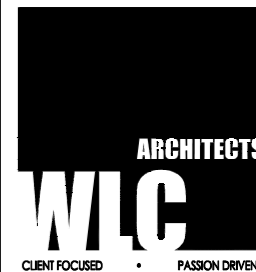


KEYNOTES

KEYNOTE	DESCRIPTION
0201	4" WIDE WHITE PAVEMENT STRIPING
0202	4" WIDE BLUE BORDER PAVEMENT STRIPING
0203	PAINTED ACCESSIBLE SYMBOL, REF DETAIL 1/A2.1
0204	12" TALL PAINTED WHITE TEXT
0205	ACCESSIBLE PARKING SIGN, CONFORM TO DETAIL 2/A2.1
0206	VAN ACCESSIBLE PARKING SIGN, CONFORM TO DETAIL 3/A2.1
0208	STANDARD PARKING STALL PAVEMENT STRIPING, REF DETAIL 7/A2.1
0210	4" WIDE WHITE DIAGONAL PAVEMENT STRIPING
0211	PASSENGER LOADING ZONE CONFORM TO DETAIL 16/A2.1
0212	4" WIDE BLUE PAVEMENT STRIPING
0214	TOW-AWAY SIGN, CONFORM TO DETAIL 4/A2.1
0215	CONC CURB RAMP, CONFORM TO DETAIL 13/A2.1
0216	CONC CURB CUT, CONFORM TO DETAIL 17 & 18/A2.1
0217	ACCESSIBLE CROSSWALK, 5% MAX SLOPE IN DIRECTION OF PATH, 2% MAX CROSS SLOPE, 4" WIDE PAVEMENT BORDER AND DIAGONAL STRIPING
0218	PASSENGER DROP-OF SIGN, CONFORM TO DETAIL 5/A2.1
0220	(E) WHEEL STOP
0222	PROVIDE FLUSH TRANSITION
0270	TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 15/A2.1
0271	TRUNCATED DOMES, CONFORM TO DETAIL 14 & 18/A2.1
3203	12" WIDE WHITE PAVEMENT STRIPING

PARKING TABULATION

PARKING LOT	TOTAL STALLS	ACCESSIBLE STALLS REQUIRED	ACCESSIBLE STALLS PROVIDED
A	33	2	2
B	10	1	1



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8183 ROCHESTER AVENUE, SUITE 100
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**VICTOR ELEMENTARY SCHOOL
PARKING LOT SLURRY COAT AT
BRENTWOOD ELEMENTARY SCHOOL
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA**



CONSULTANT

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: DATE: 03/17/2020 PROJECT NUMBER: 2011200

ENLARGED SITE PLANS

DRAWING NUMBER: A1.1

VICTOR ELEMENTARY SCHOOL PARKING LOT SLURRY COAT AT DISCOVERY SCHOOL OF THE ARTS VICTOR ELEMENTARY SCHOOL DISTRICT VICTORVILLE, CALIFORNIA

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 04-119212 INC.
REVIEWED FOR
SS FLS ACS
DATE: 06/02/2020



SOUTHERN CALIFORNIA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA
CALIFORNIA 91730-0729
TEL: 909-987-0909
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 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 5, SECTION 501.4 AND CHAPTER 33, SECTION 3310.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 5, SECTION 501.4 AND CHAPTER 33, SECTION 3312.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS IN ACCORDANCE WITH CHAPTER 33, SECTION 3304.5. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
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10. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
11. CONTRACTOR TO INSTALL AND/OR ASSUME RESPONSIBILITY OF EXISTING TEMPORARY CONSTRUCTION FENCE AS REQUIRED TO PROVIDE A CLEAR PATH OF TRAVEL AROUND ALL CONSTRUCTION AREAS AND MATERIALS WITHOUT RESTRICTING STUDENT TRAFFIC. AT THE END OF CONSTRUCTION, REPAIR ALL DAMAGE TO CONCRETE OR AC PAVING TO DISTRICT'S SATISFACTION.

12. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CHANGE ORDER MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. A CONSTRUCTION CHANGE DOCUMENT SHALL BE APPROVED BY THE DIVISION OF

13. ALL SLOPE AND CROSS SLOPE OF ACCESSIBLE ROUTE PAVING INDICATED ON THESE DRAWINGS WAS DESIGNED IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE ACCESSIBILITY STANDARDS OF THE CALIFORNIA BUILDING CODE, (CBC) TITLE 24, PART 2, CHAPTER 11B OF THE CALIFORNIA CODE OF REGULATIONS (CCR). STRICT EXECUTION OF THE SLOPE AND CROSS SLOPE OF ACCESSIBLE ROUTE PAVING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHOULD A CONDITION PRESENT ITSELF THAT WOULD RESULT IN AN INSTALLATION OTHER THAN THAT IS INDICATED IN THESE DRAWINGS, WLC ARCHITECTS, INC. SHALL BE NOTIFIED IN WRITING AND A COMPLIANT RESOLUTION WILL BE FORMULATED.

PROJECT TEAM

<p>OWNER VICTOR ELEMENTARY SCHOOL DISTRICT 12219 SECOND AVENUE VICTORVILLE, CA 92395 PHONE: (760) 245-1691</p>	<p>ARCHITECT WLC ARCHITECTS, INC. 8163 ROCHESTER AVE., SUITE 100 RANCHO CUCAMONGA, CA 91730 PHONE: (909) 987-0909 FAX: (909) 980-9980</p>
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SCOPE OF WORK DESCRIPTION

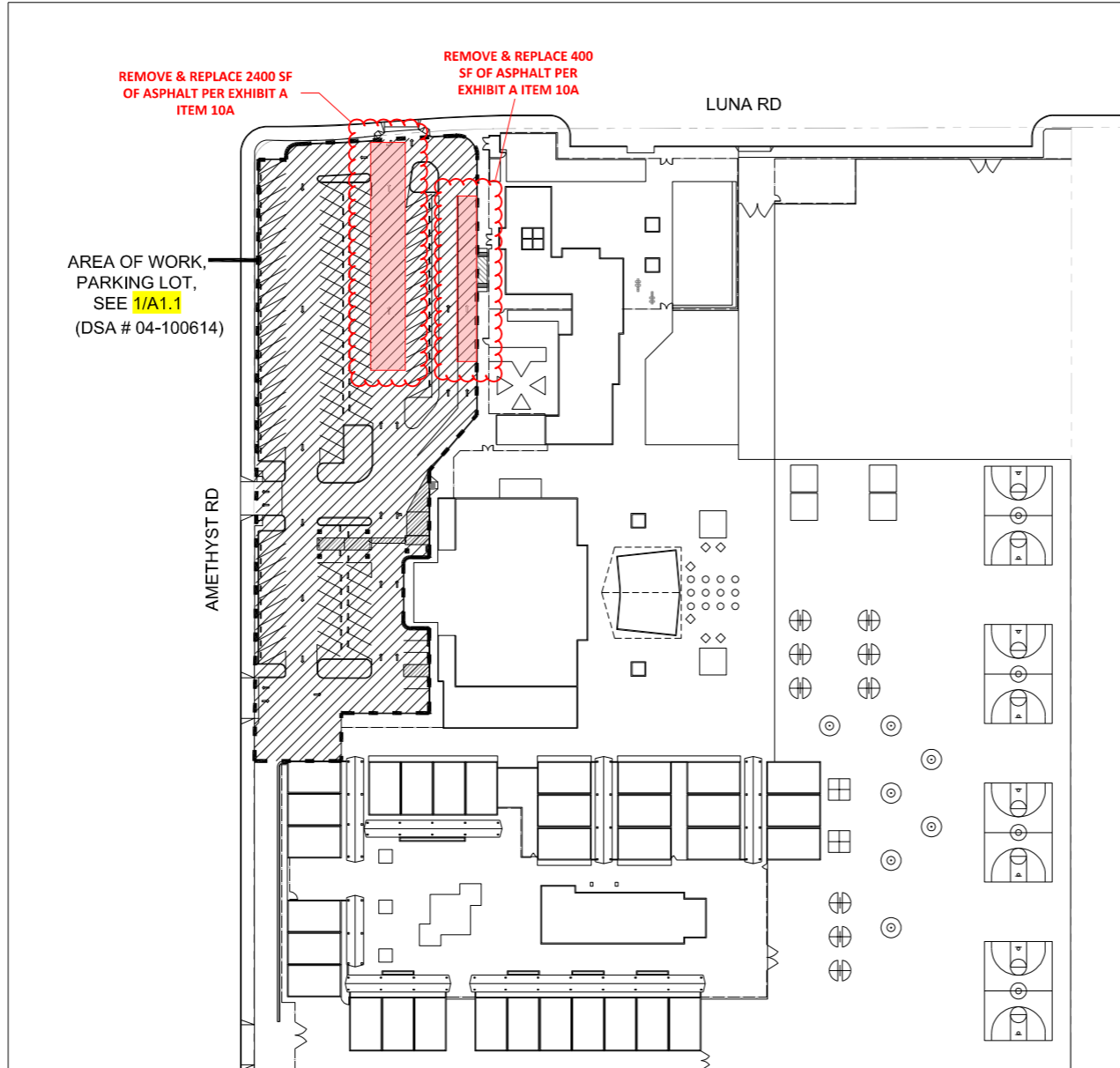
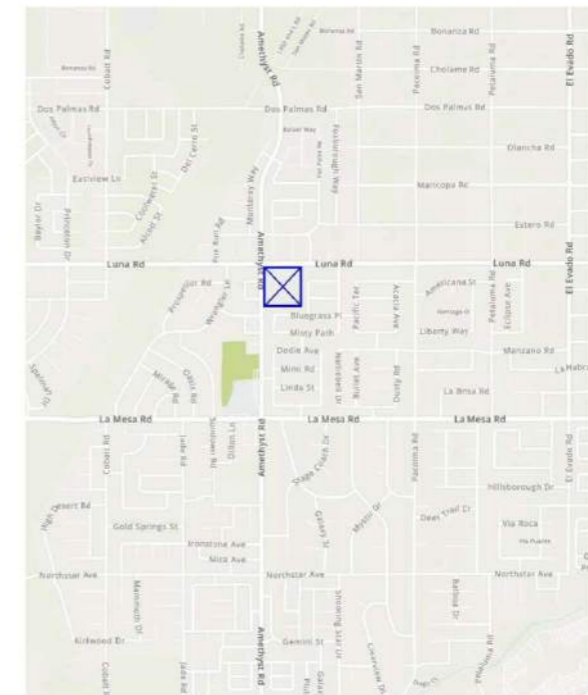
THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. APPLYING SLURRY COATING AT EXISTING PARKING LOTS AND ASSOCIATED SITE WORKS.

DRAWING INDEX

DWG REF NO	DESCRIPTION
A0.1	GENERAL NOTES & PROJECT DIRECTORY & OVERALL SITE PLAN
A1.1	ENLARGED SITE PLANS
A2.1	SITE DETAILS

TOTAL: 3 SHEETS

PROJECT ADDRESS:
13247 AMETHYST ROAD, VICTORVILLE, CA 92392



AREA OF WORK,
PARKING LOT,
SEE 1/A1.1
(DSA # 04-100614)

NOTE: THIS PROJECT IS AN ACCESS ONLY PROJECT. THIS DSA # WILL NOT BE ABLE TO BE USED TO IDENTIFY THE ACCESSIBLE PARKING FOR ANY FUTURE PROJECT AS THERE IS NO INSPECTION CARD AND NO DSA FIELD PRESENCE.

(E) SITE PLAN - OVERALL

1/48" = 1'-0"

VICINITY MAP

1" = 400'-0"

**VICTOR ELEMENTARY SCHOOL
PARKING LOT SLURRY COAT AT
DISCOVERY SCHOOL OF THE ARTS
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA**



CONSULTANT

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 03/17/2020 SCALE: _____
PROJECT NUMBER: 2011200

GENERAL NOTES
& PROJECT DIRECTORY
& OVERALL SITE PLAN

DRAWING NUMBER: **A0.1**