



BID # 23-005

EAST SIDE ADA UPGRADES & PARKING LOT SEAL & STRIPE
VICTOR ELEMENTARY SCHOOL DISTRICT
VICTORVILLE, CA

May 5th, 2023

ADDENDUM – 01

PLANS & SPECIFICATIONS

- ITEM NO. 1 PROJECT MANUAL, SPECIFICATION SECTION- 001116 NOTICE INVITING BIDS
- A. The bid deadline has been changed to 10:00 o'clock AM on the **6th day of June 2023**. The location for receipt of Bids remains the District Office for Victor Elementary School District, located at 12219 2nd Ave., Victorville, CA 92395.
- B. The Non-Mandatory job walk has been changed to 8:00 o'clock AM on the **25th day of May 2023**. The beginning location for the job walk remains the District Office for Victor Elementary School District, located at 12219 2nd Ave., Victorville, CA 92395.
- ITEM NO. 2 PROJECT MANUAL, TAB 2- BID FORM
- A. The bid form has been changed to remove (3) sites from the Base Bid Total (Green Tree, Irwin, Sixth St) and add the same (3) sites to Bid Alternate No. 04 (Green Tree), No. 05 (Sixth St) & No. 06 (Irwin) as detailed.
- ITEM NO. 3 PROJECT MANUAL, TAB 5 PLANS SECTION – MISC PLAN SHEETS
- A. Revised plan sheets at Del Rey, District Office, Endeavour, Green Tree, Irwin, Lomas, District M&O, Mojave Vista, Sixth St, Transportation Yard and Millionaire Mind to supersede previous plan sheets provided in entirety.
- B. Updated Preliminary Schedule to reflect new Bid Date of June 6th, 2023 and new Job Walk Date of May 25th, 2023.

ADDENDUM ATTACHMENTS

- **Bid Form**
- **Addendum #1 Sheets**
- **Preliminary & Bid Schedule – Early May 2023**

END OF ADDENDUM 01

BID FORM

FOR

EAST SIDE ADA UPGRADES & PARKING LOT SEAL & STRIPE

Bid No. 23-005

FOR

VICTOR ELEMENTARY SCHOOL DISTRICT

CONTRACTOR
NAME:

ADDRESS:

TELEPHONE:

()

FAX:

()

EMAIL

TO: Victor Elementary School District, acting by and through its Governing Board, herein called "District".

1. Pursuant to and in compliance with your Notice Inviting Bids and other documents relating thereto, the undersigned bidder, having familiarized himself with the terms of the Contract, the local conditions affecting the performance of the Contract, the cost of the work at the place where the work is to be done, with the Drawings and Specifications, and other Contract Documents, hereby proposes and agrees to perform within the time stipulated, the Contract, including all of its component parts, and everything required to be performed, including its acceptance by the District, and to provide and furnish any and all labor, materials, tools, expendable equipment, and utility and transportation services necessary to perform the Contract and complete all of the Work in a workmanlike manner required in connection with the construction of:

BID SCHEDULE NO. 23-005

East Side ADA Upgrades & Parking Lot Seal & Stripe

in the District described above, all in strict conformance with the drawings and other Contract Documents on file at the Facilities Office of said District for amounts set forth herein.

2. BIDDER ACKNOWLEDGES THE FOLLOWING ADDENDUM:

Number	Number	Number	Number	Number	Number	Number	Number
_____	_____	_____	_____	_____	_____	_____	_____

Acknowledge the inclusion of all addenda issued prior to bid in the blanks provided above. Your failure to do so may render your bid non-responsive.

3. TOTAL CASH PURCHASE PRICE IN WORDS & NUMBERS:

Work included for VESD District Office Price – _____ DOLLARS

Work included for Transportation Price – _____ DOLLARS

Work included for Millionaire Mind Kids Price – _____ DOLLARS

Work included for M&O Department Bldg Price – _____ DOLLARS

Work included for Del Rey AVID DSA A#04-122241 Price – _____ DOLLARS

Work included for Endeavour DSA A#04-122242 Price – _____ DOLLARS

Work included for Lomitas DSA A#04-122244 Price – _____ DOLLARS

Work included for Mojave Vista DSA A#04-122245 Price – _____ DOLLARS

Work included for Mountain View DSA A#04-122246 Price – _____ DOLLARS

Work included for Liberty DSA A# 04-119213 Price – _____ DOLLARS

Allowance Amount – \$70,000.00 _____ DOLLARS

(as confirmed in Special Conditions)

Total of Base Bid plus Allowance – _____ DOLLARS

Total of Base Bid in Words - _____

4. ALTERNATE BIDS:

The following amounts shall be added to or deducted from the Total Base Bid at the DISTRICT's option. Description of work to be as follows:

Alternate No.01 – At Lomitas, remove and replace 16,500 sf of existing asphalt at North end of parking lot as shown on the plan. New asphalt section to match existing, section to be over excavated and scarified to meet 95% compaction. Area to be striped to match existing as appropriate.

a. Total of Alternate in words: _____
_____ DOLLARS

b. Total of Alternate plus Total Bid: \$ _____

c. Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

Alternate No.02 – At Montessori, remove and replace 17,700 sf of existing asphalt at South end of parking lot as shown on the plan. New asphalt section to match existing, section to be over excavated and scarified to meet 95% compaction. Area to be striped to match existing as appropriate.

d. Total of Alternate in words: _____
_____ DOLLARS

e. Total of Alternate plus Total Bid: \$ _____

f. Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

Alternate No.03 – At Del Rey ES, remove and replace 39,000 sf of existing asphalt at North end of parking lot as shown on the plan. New asphalt section to match existing, section to be over excavated and scarified to meet 95% compaction. Area to be striped to match existing as appropriate.

g. Total of Alternate in words: _____
_____ DOLLARS

h. Total of Alternate plus Total Bid: \$

i. Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

Alternate No.04 – Scope of work as outlined per Exhibit A in Project Manual at Green Tree (DSA A#04-122248).

j. Total of Alternate in words: _____
_____ DOLLARS

k. Total of Alternate plus Total Bid: \$

l. Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

Alternate No.05 – Scope of work as outlined per Exhibit A in Project Manual at Sixth St (DSA A#04-122247).

m. Total of Alternate in words: _____
_____ DOLLARS

n. Total of Alternate plus Total Bid: \$

o. Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

Alternate No.06 – Scope of work as outlined per Exhibit A in Project Manual at Irwin Academy (DSA A#04-122243).

p. Total of Alternate in words: _____
_____ DOLLARS

q. Total of Alternate plus Total Bid: \$

r. Total of Alternate plus Total Bid in words: _____
_____ DOLLARS

5. **TIME FOR COMPLETION: The Contractor can proceed with East Side ADA Upgrades, Parking Lot Seal & Stripe work after given the Notice to Proceed. Sealing/Striping shall begin no sooner than June 14, 2023 and complete the work no later than August 11, 2023 (59 Calendar Days), as discussed in the Special Conditions and as coordinated with the Construction Manager.**

The District may give a notice to proceed within sixty (60) days of the award of the bid by the District. Once the Contractor has received the notice to proceed, the Contractor shall complete the work in the time specified in the Agreement. By submitting this bid, Contractor has thoroughly studied this Project and

agrees that the Contract Time for this Project is adequate for the timely and proper completion of the Project. Further, Contractor has included in the analysis of the time required for this Project, Rain Days, Governmental Delays, and the requisite time to complete Punch List.

In the event that the District desires to postpone giving the notice to proceed beyond this sixty (60) day period, it is expressly understood that with reasonable notice to the Contractor, giving the notice to proceed may be postponed by the District. It is further expressly understood by the Contractor, that the Contractor shall not be entitled to any claim of additional compensation as a result of the postponement of giving the notice to proceed.

If the Contractor believes that a postponement will cause a hardship to it, the Contractor may terminate the contract with written notice to the District within ten (10) days after receipt by the Contractor of the District's notice of postponement. Should the Contractor terminate the Contract as a result of a notice of postponement, the District shall have the authority to award the Contract to the next lowest responsible bidder, if applicable.

It is understood that the District reserves the right to reject any or all bids and/or waive any irregularities or informalities in this bid or in the bid process. The Contractor understands that it may not withdraw this bid for a period of sixty (60) days after the date set for the opening of bids.

6. Attached is bid security in the amount of not less than ten percent (10%) of the bid:

Bid bond (10% of the Bid), certified check, or cashier's check (circle one)

7. The required List of Designated Subcontractors is attached hereto.

8. The required Non-Collusion Declaration is attached hereto.

9. The Substitution Request Form, if applicable, is attached hereto.

10. It is understood and agreed that if written notice of the acceptance of this bid is mailed, telegraphed, or delivered to the undersigned after the opening of the bid, and within the time this bid is required to remain open, or at any time thereafter before this bid is withdrawn, the undersigned will execute and deliver to the District a Contract in the form attached hereto in accordance with the bid as accepted, and that he or she will also furnish and deliver to the District the Performance Bond and Payment Bond, all within five (5) calendar days after award of Contract, and that the work under the Contract shall be commenced by the undersigned bidder, if awarded the Contract, by the start date provided in the District's Notice to Proceed, and shall be completed by the Contractor in the time specified in the Contract Documents.

11. The names of all persons interested in the foregoing proposal as principals are as follows:

(IMPORTANT NOTICE: If bidder or other interested person is a corporation, state the legal name of such corporation, as well as the names of the president, secretary, treasurer, and manager thereof; if a co-

partnership, state the true names of the firm, as well as the names of all individual co-partners comprising the firm; if bidder or other interested person is an individual, state the first and last names in full.)

12. **PROTEST PROCEDURES.** If there is a bid protest, the grounds shall be submitted as set forth in the Instructions to Bidders.

13. The undersigned bidder shall be licensed and shall provide the following California Contractor's license information:

License Number: _____
License expiration date: _____
Name on License: _____
Class of License: _____
DIR Registration Number: _____

If the bidder is a joint venture, each member of the joint venture must include the above information.

14. Time is of the essence regarding this Contract, therefore, in the event the bidder to whom the Contract is awarded fails or refuses to post the required bonds and return executed copies of the Agreement form within five (5) calendar days from the date of receiving the Notice of Award, the District may declare the bidder's bid deposit or bond forfeited as damages.

15. The bidder declares that he/she has carefully examined the location of the proposed Project, that he/she has examined the Contract Documents, including the Plans, General Conditions, Supplemental Conditions, Addenda, and Specifications, all others documents and requirements that are attached to and/or contained in the Project Manual, all other documents issued to bidders and read the accompanying instructions to bidders, and hereby proposes and agrees, if this proposal is accepted, to furnish all materials and do all work required to complete the said work in accordance with the Contract Documents, in the time and manner therein prescribed for the unit cost and lump sum amounts set forth in this Bid Form.

16. **DEBARMENT.** In addition to seeking remedies for False Claims under Government Code section 12650 et seq. and Penal Code section 72, the District may debar a Contractor pursuant to Article 15 of the General Conditions if the Board, or the Board may designate a hearing officer who, in his or her discretion, finds the Contractor has done any of the following:

- a. Intentionally or with reckless disregard, violated any term of a contract with the District;
- b. Committed an act or omission which reflects on the Contractor's quality, fitness or capacity to perform work for the District;
- c. Committed an act or offense which indicates a lack of business integrity or business honesty; or
- d. Made or submitted a false claim against the District or any other public entity. (See Government Code section 12650, et seq., and Penal Code section 72)

17. **DESIGNATION OF SUBCONTRACTORS.** In compliance with the Subletting and Subcontracting Fair Practices Act (California Public Contract Code section 4100 et seq.) and any

amendments thereof, each bidder shall list subcontractors on the District's form Subcontractor list. This subcontractor list shall be submitted with the bid and is a required form

I agree to receive service of notices at the e-mail address listed below.

I the below-indicated bidder, declare under penalty of perjury that the information provided and representations made in this bid are true and correct.

Proper Name of Company

Name of Bidder Representative

Street Address

City, State, and Zip

()
Phone Number

()
Fax Number

E-Mail

By: _____ Date: _____
Signature of Bidder Representative

NOTE: If bidder is a corporation, the legal name of the corporation shall be set forth above together with the signature of authorized officers or agents and the document shall bear the corporate seal; if bidder is a partnership, the true name of the firm shall be set forth above, together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership; and if bidder is an individual, his signature shall be placed above.

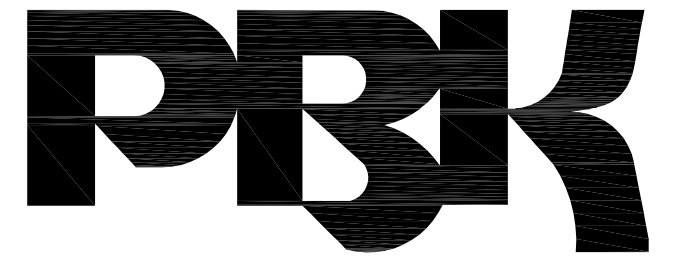
All signatures must be made in permanent ink.

DEL REY ELEMENTARY SCHOOL PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

15332 DEL REY DR.

VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
6. INSPECTOR OF RECORD REQUIREMENTS:
 - A. DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
7. ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
8. CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
9. SOIL BEARING PRESSURE ASSUMED AT: 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
10. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
11. PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
12. GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
13. GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
14. ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
15. ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
16. FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.
- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 4	

PROJECT TEAM

PROJECT ADDRESS
DEL REY ELEMENTARY SCHOOL
15332 DEL REY DR.,
VICTORVILLE, CA 92395
PHONE: 760-245-7941

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

**DEL REY ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
15332 DEL REY DR.
VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

REVISION
3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

- CENTER LINES, FLOOR LINES AND LEVEL LINES
- SECTION LINES
- PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHIT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

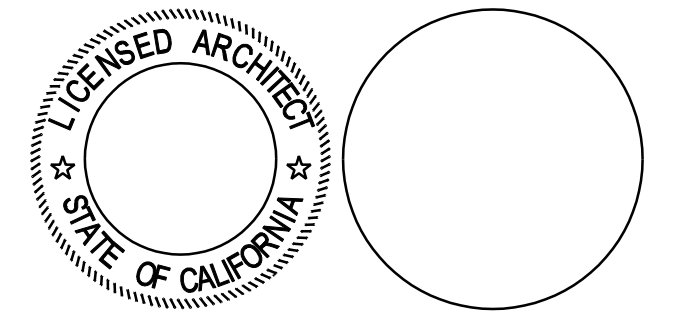
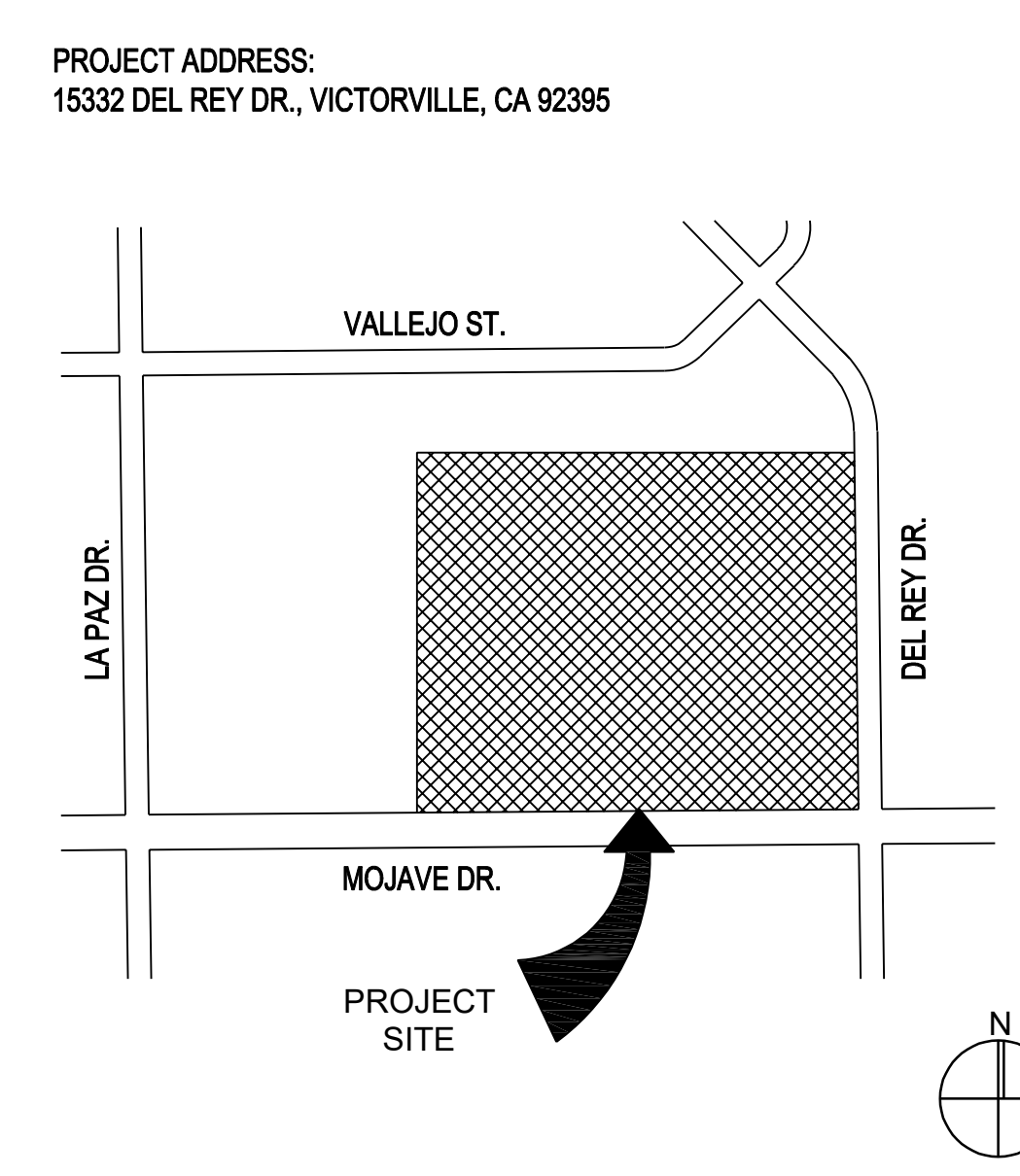
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA PARKING LOT UPGRADE AS REQUIRED.

VICINITY MAP



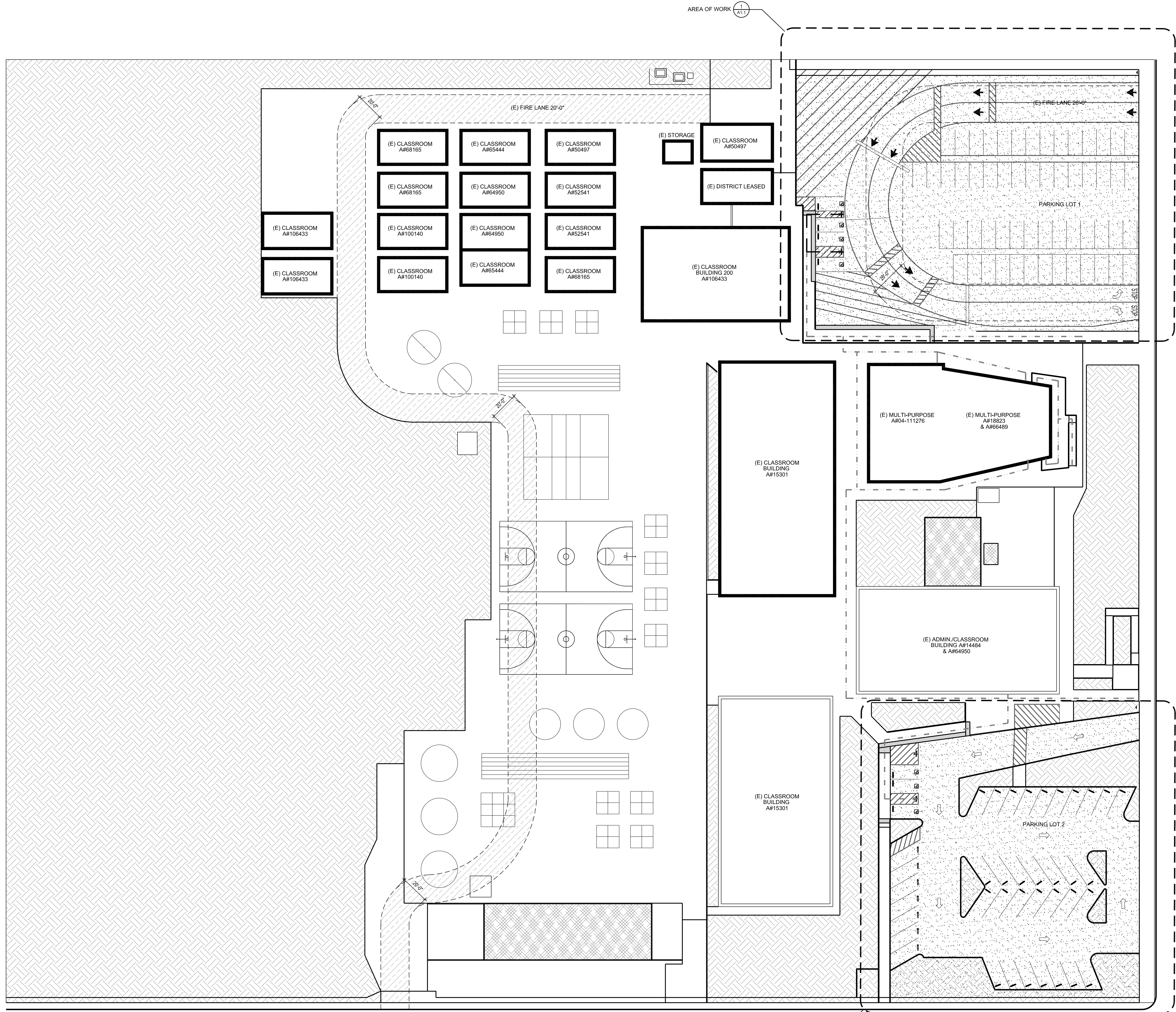
CONSULTANT			

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

GENERAL NOTES & PROJECT DIRECTORY

DRAWING NUMBER: A0.1



TOTAL PARKING SPACES = 58	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 3	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
	54	3	1	58

AREA 1 - PARK CALCULATION

TOTAL PARKING SPACES = 40	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 2	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
	37	2	1	40

AREA 2 - PARK CALCULATION

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

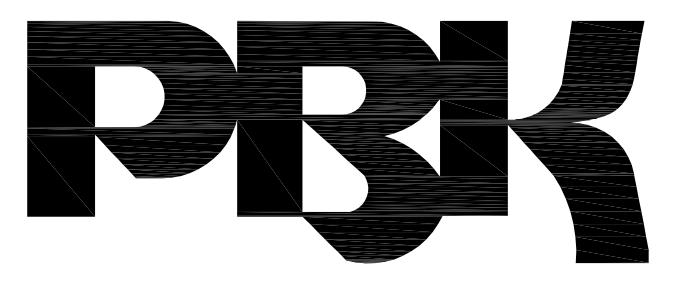
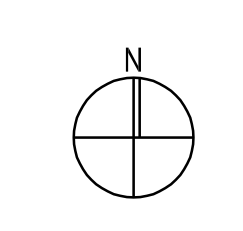
--- (E) P.D.T.

PATH OF TRAVEL

- AREA OF SLURRY COAT, STRIPING, & PAVEMENT
- (E) LANDSCAPE
- (E) FIRE LANE 20'-0" MIN CLR

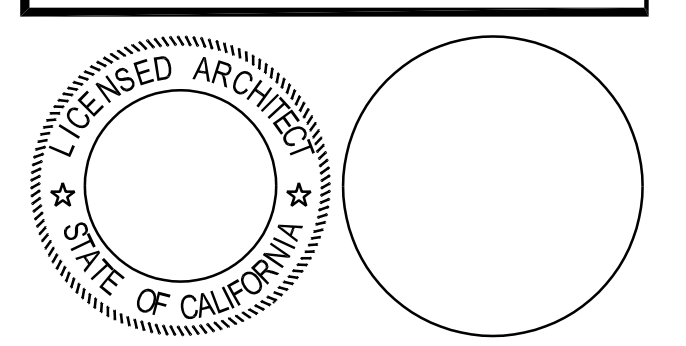
DEL REY DR.

MOJAVE DR.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**DEL REY ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL**
VICTOR ELEMENTARY SCHOOL DISTRICT
15332 DEL REY DR.
VICTORVILLE, CA 92395



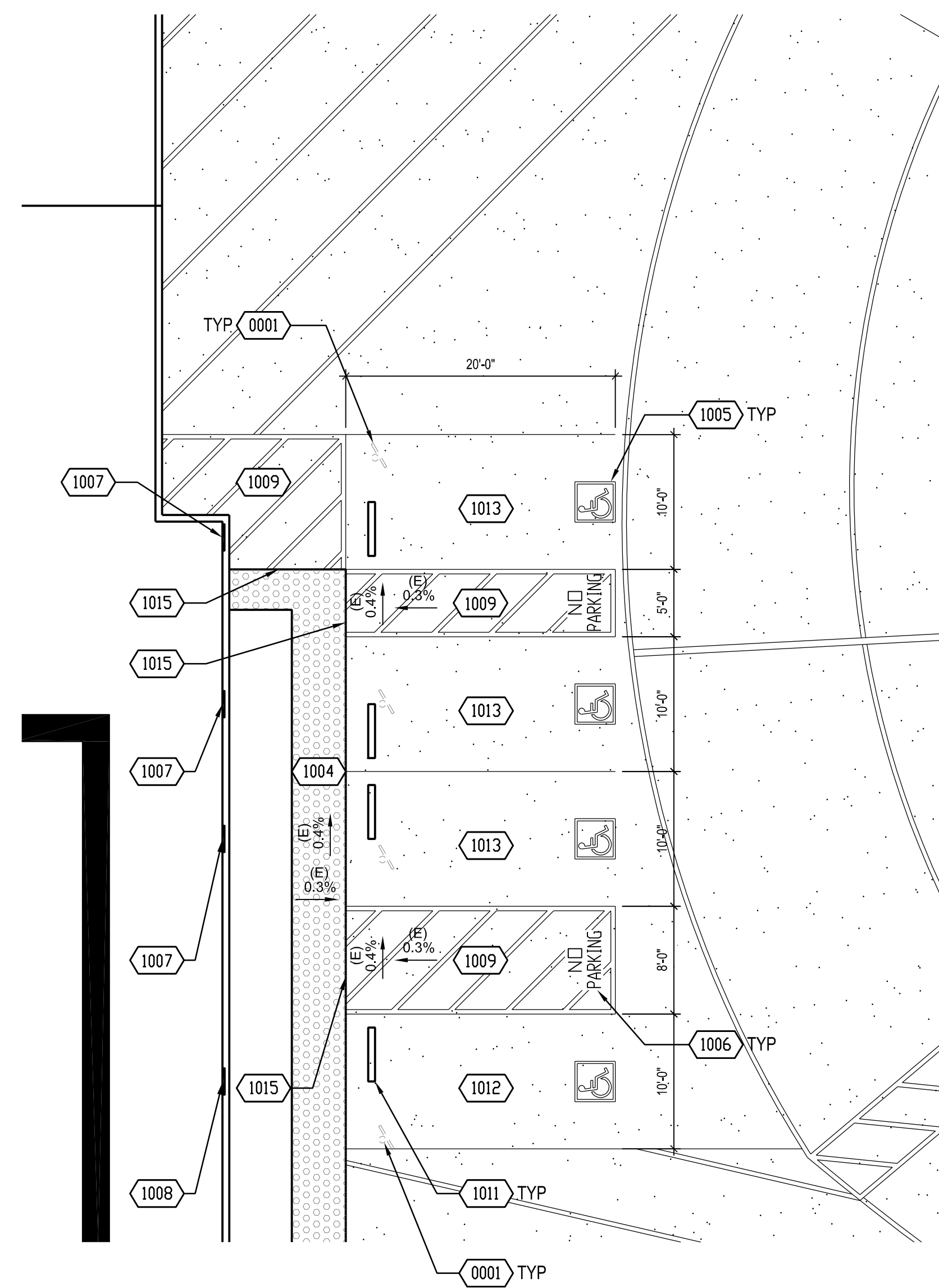
CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: CHECKED:
DATE: 02/24/2023 SCALE:
PROJECT NUMBER: 000000

**OVERALL
SITE PLAN**

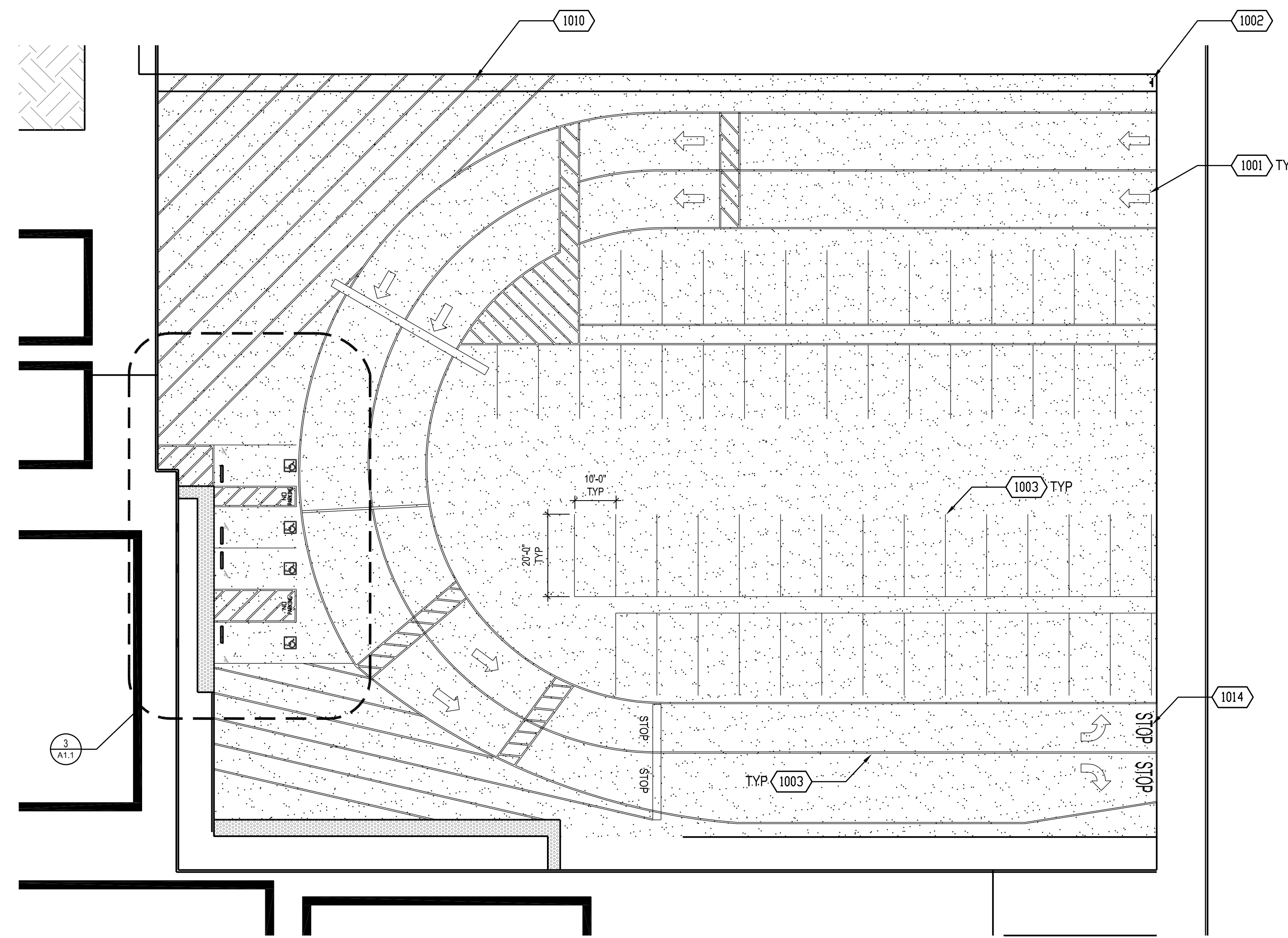
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ENLARGED ACCESSIBLE PARKING - LOT 1

1/8" = 1'-0"

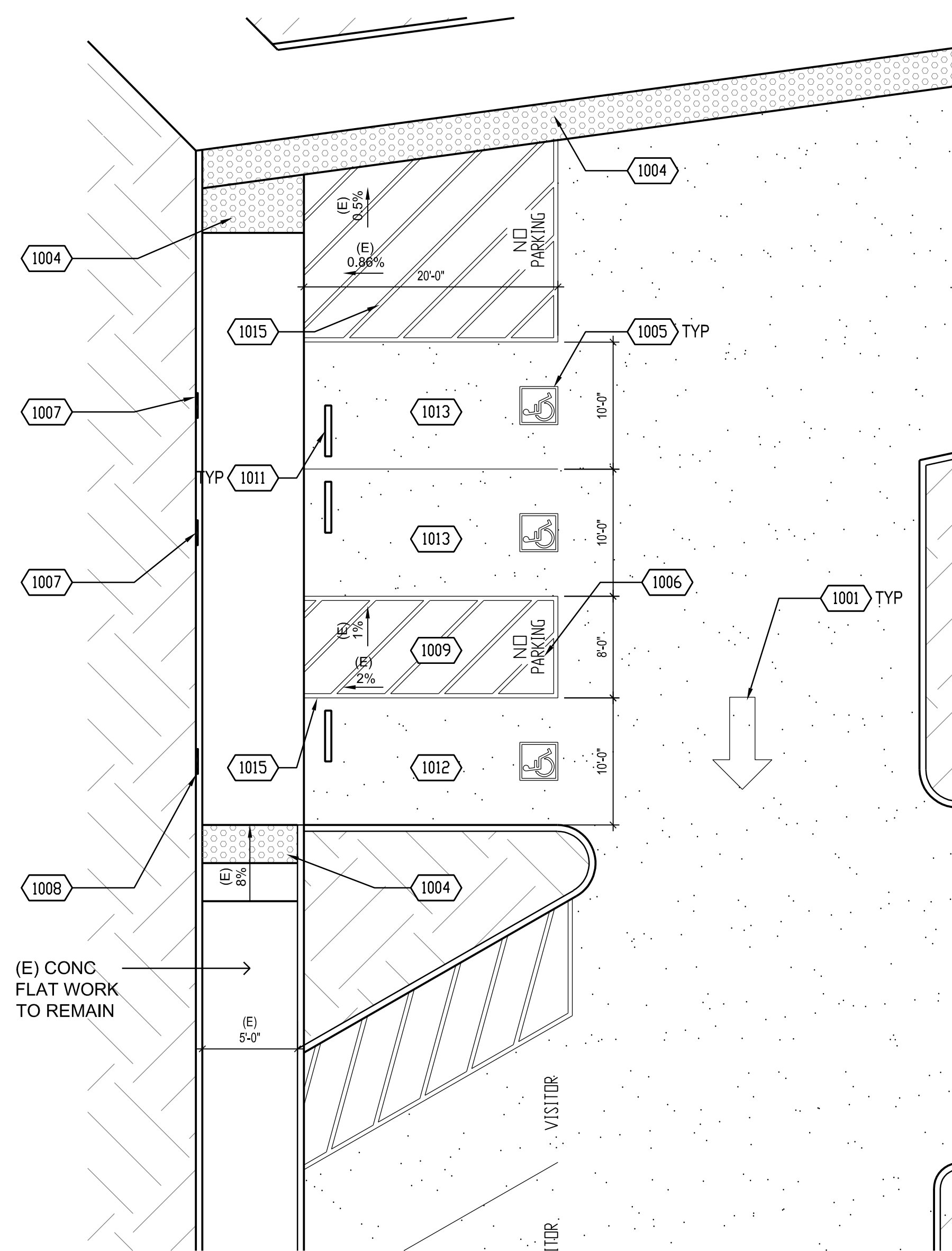
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ENLARGED SITE PLAN - LOT 1

1" = 20'-0"

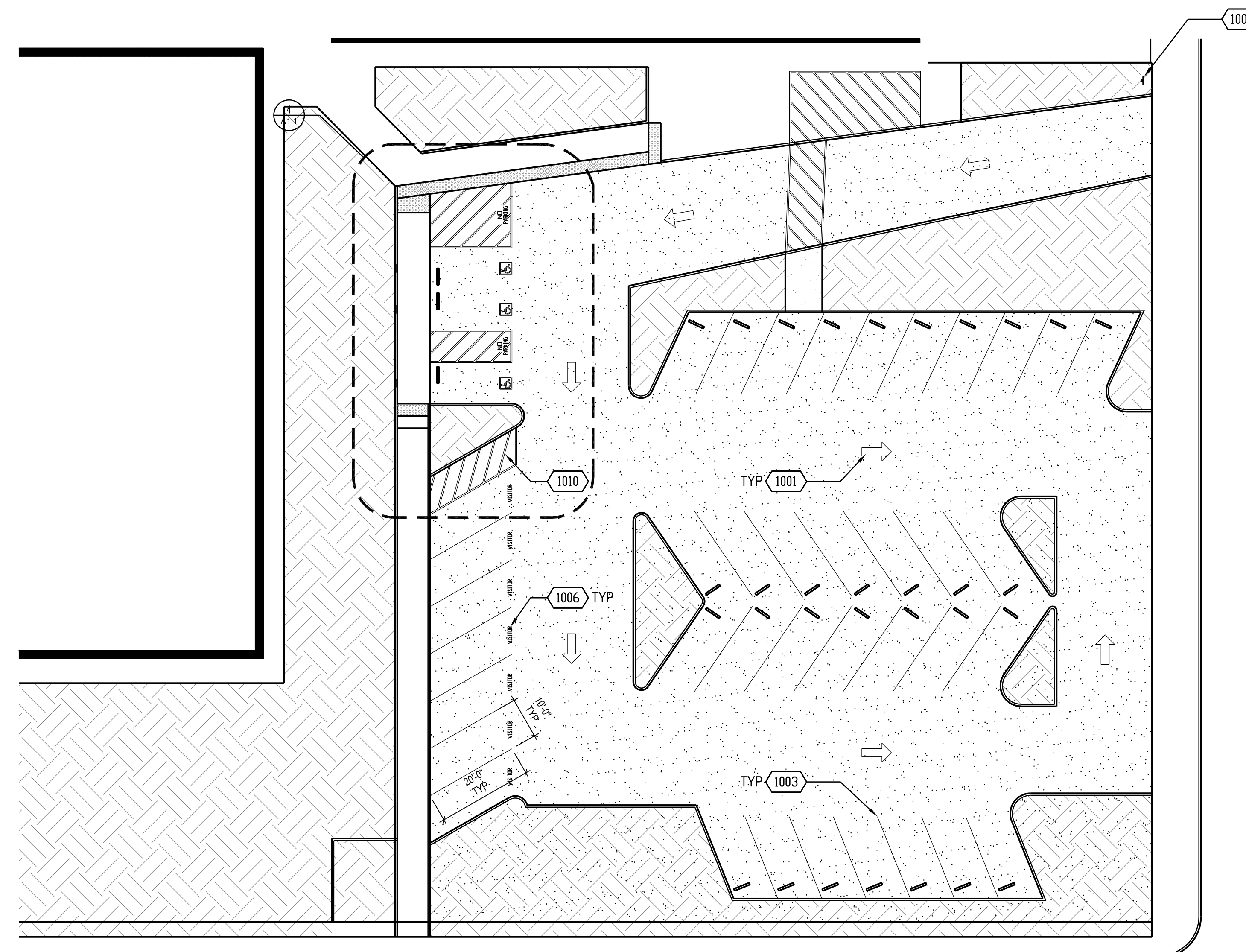
1



ENLARGED ACCESSIBLE PARKING - LOT 2

1/8" = 1'-0"

4



ENLARGED SITE PLAN - LOT 2

1" = 20'-0"

2

TOTAL PARKING SPACES = 58	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 3	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
	54	3	1	58

AREA 1 - PARK CALCULATION

TOTAL PARKING SPACES = 40	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 2	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
	37	2	1	40

AREA 2 - PARK CALCULATION



SITE LEGEND

- 10001 REMOVE (E) POST AND FILL HOLE WITH GROUT
- 10001 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2
- 10002 (E) TOW-AWAY SIGN
- 10003 4" WIDE WHITE PAVEMENT STRIPING
- 10004 (E) TRUNCATED DOMES
- 10005 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2
- 10006 12" H PAINTED WHITE TEXT
- 10007 ACCESSIBLE PARKING SIGN, REF DETAIL 9/A1.2
- 10008 VAN ACCESSIBLE PARKING SIGN, REF DETAIL 10/A1.2
- 10009 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS, 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING
- 10010 4" WIDE WHITE DIAGONAL PAVEMENT STRIPING
- 10011 (E) WHEEL STOP, RELOCATE AS REQUIRED.
- 10012 VAN ACCESSIBLE PARKING STALL, REF DETAIL 15/A1.2
- 10013 ACCESSIBLE PARKING STALL, REF DETAIL 14/A1.2
- 10014 4'-0" H PAINTED WHITE TEXT
- 10015 FLUSH TRANSITION, REF DETAIL 4/A1.2

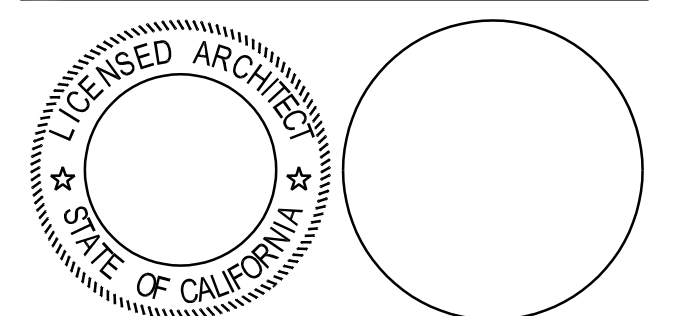
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**DEL REY ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
15332 DEL REY DR.
VICTORVILLE, CA 92395



CONSULTANT			
1	5/1/23	PBK	ADDENDUM 01

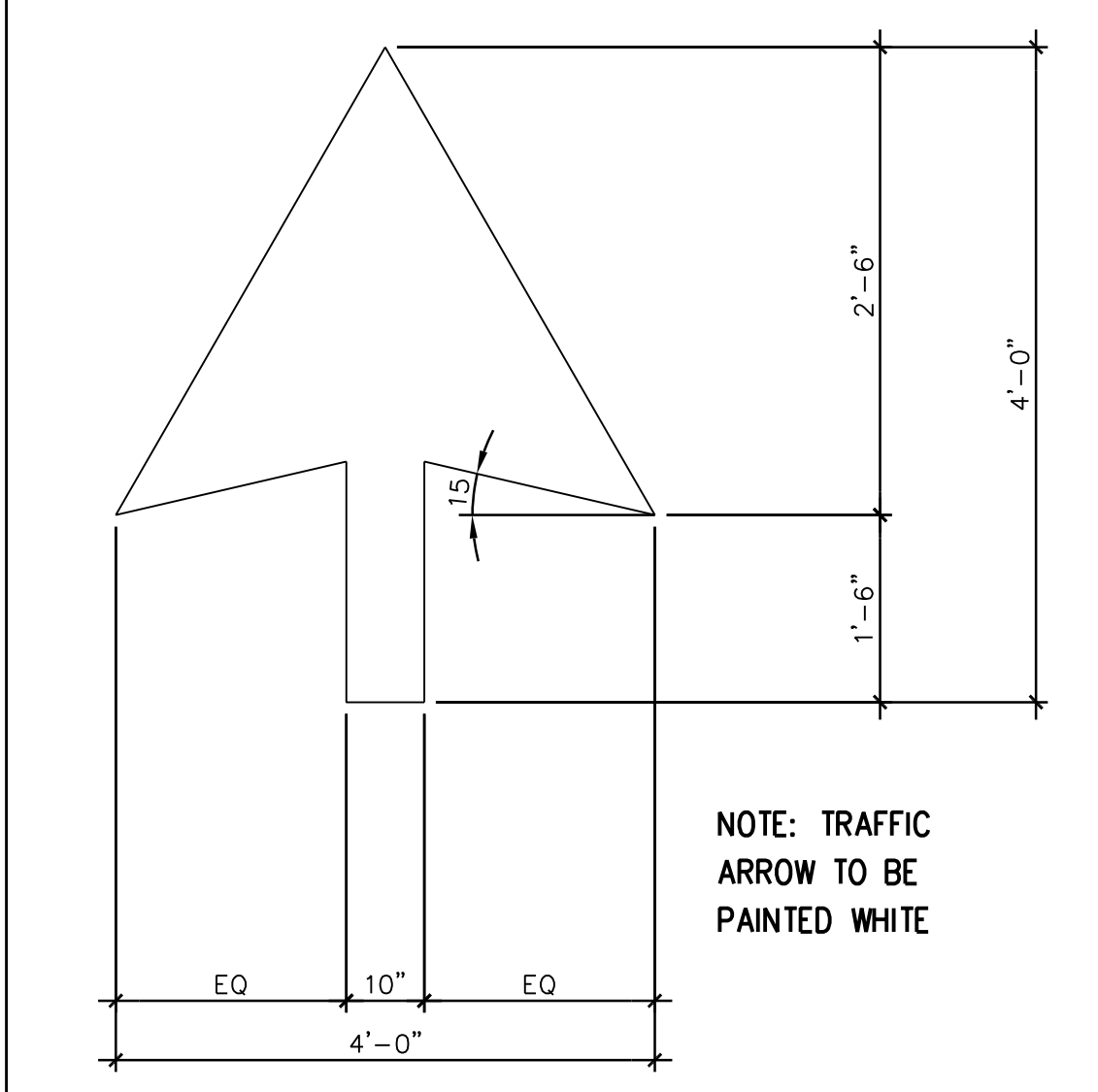
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

**ENLARGED
SITE PLAN**

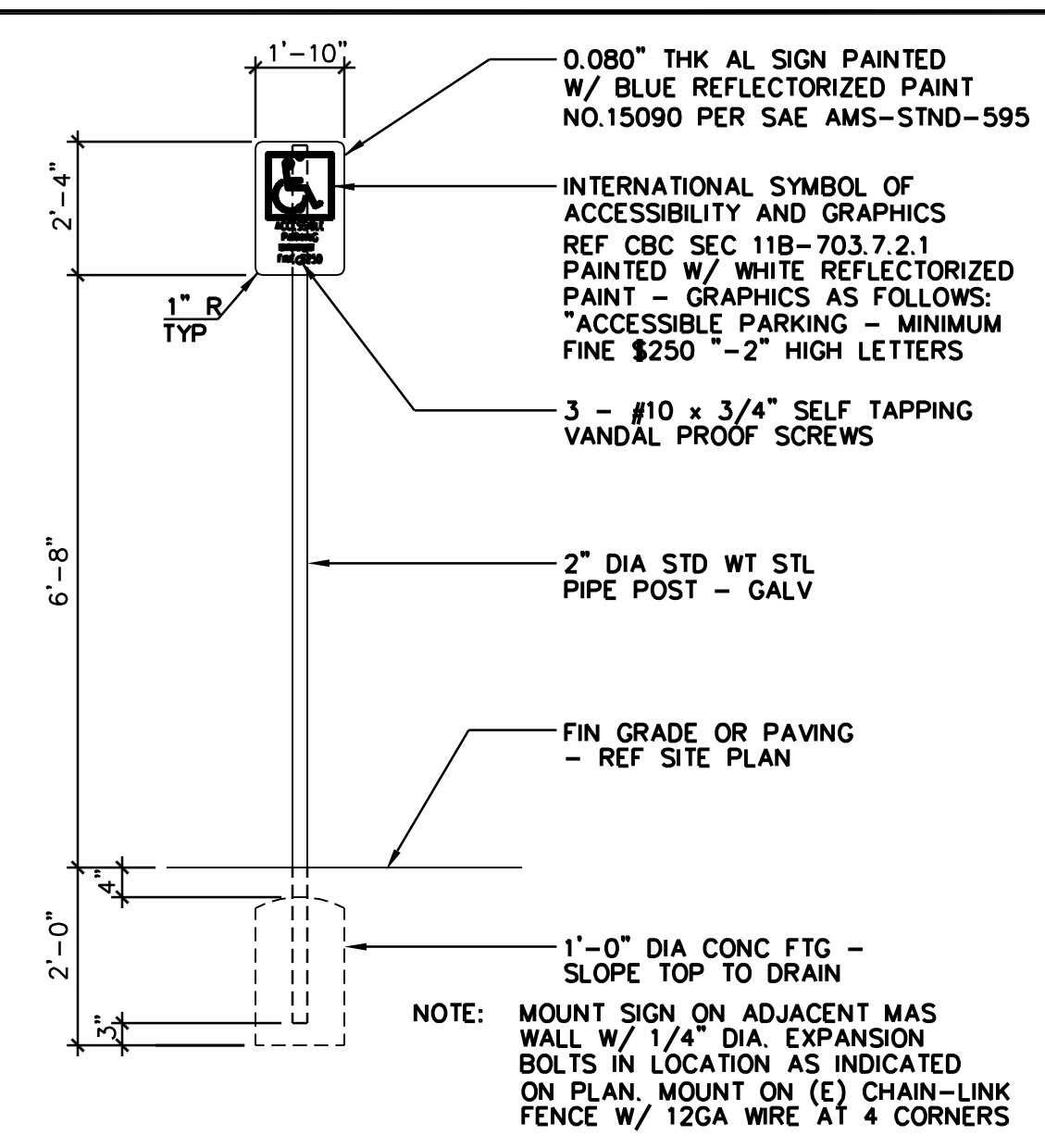
DRAWING NUMBER: **A1.1**

GENERAL NOTES



NOTE: TRAFFIC ARROW TO BE PAINTED WHITE

FILE/CS NUMBER: REVISION DATE: 07/26/03 JOB NUMBER: 0324



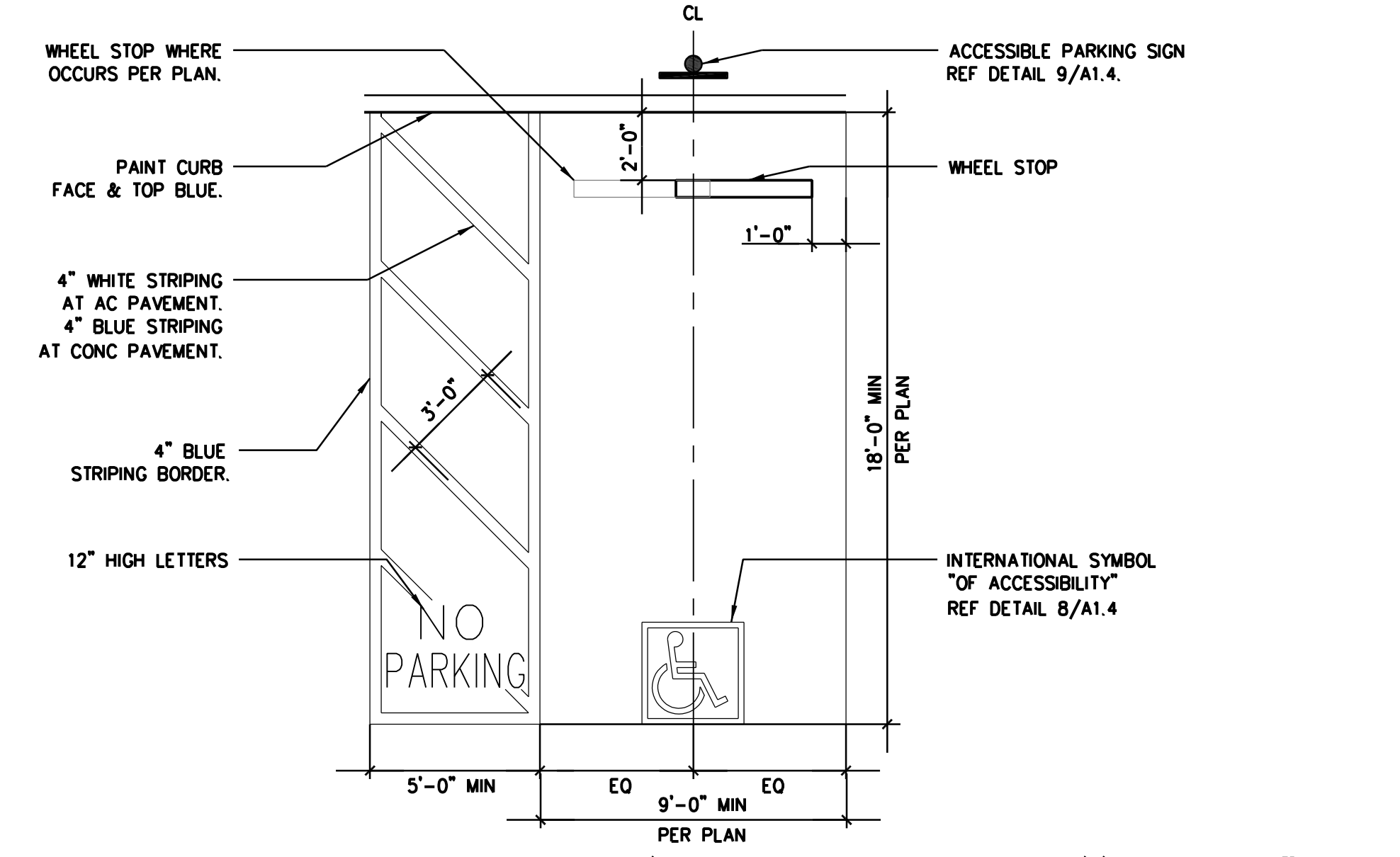
FILE/CS NUMBER: 01000-1102 REVISION DATE: 08/26/19 JOB NUMBER: 88100

21

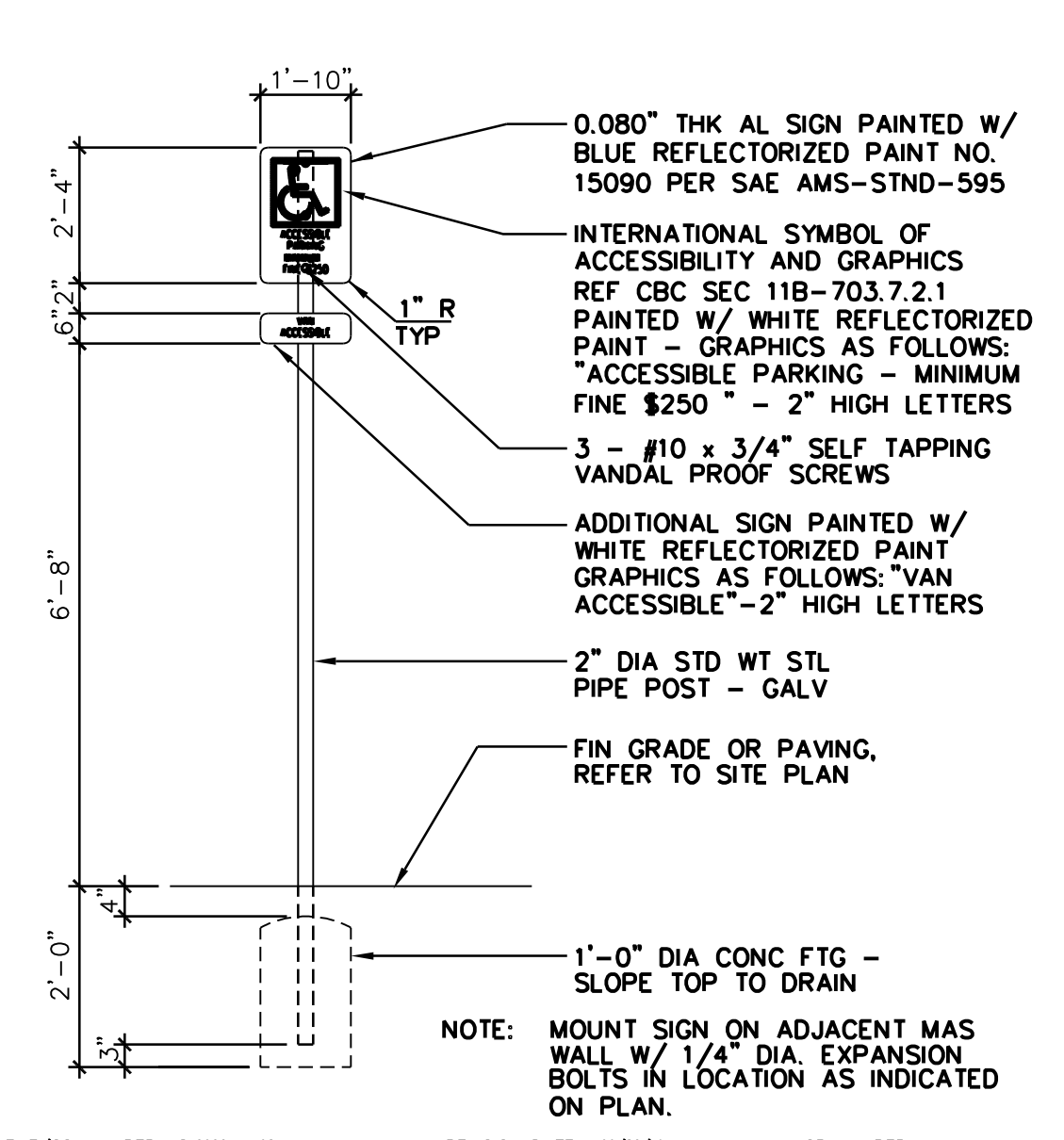
17 TRAFFIC ARROW 1/2"=1'-0"

13 PARKING SIGN 1/2"=1'-0"

5



FILE/CS NUMBER: 014421 REVISION DATE: 02/26/02 JOB NUMBER: 0324



FILE/CS NUMBER: 01000-1102 REVISION DATE: 08/26/19 JOB NUMBER: 88100

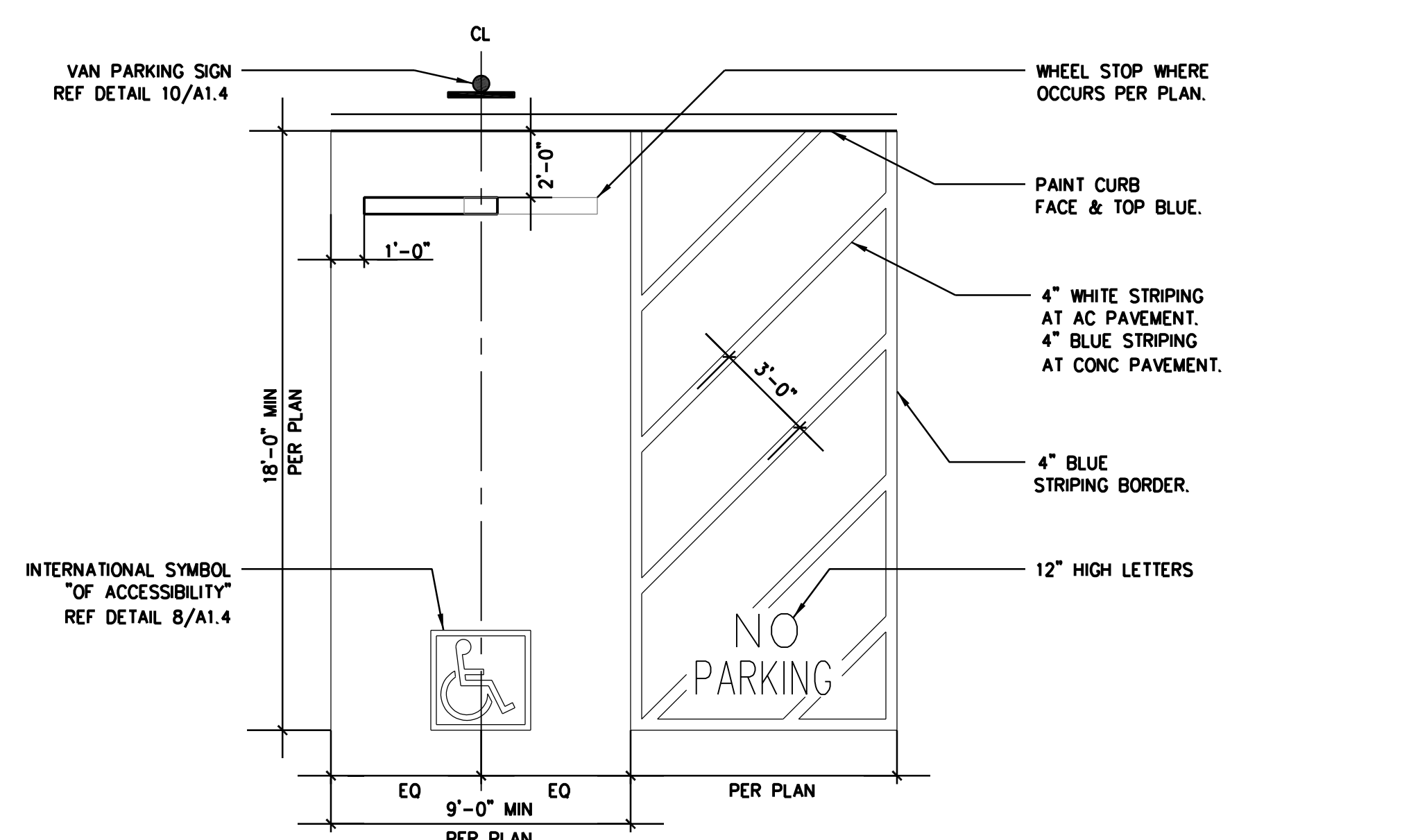
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ACCESSIBLE PARKNG 1/4"=1'-0"

14 PARKING SIGN 1/2"=1'-0"

6

2



FILE/CS NUMBER: 014421 REVISION DATE: 02/26/02 JOB NUMBER: 0324

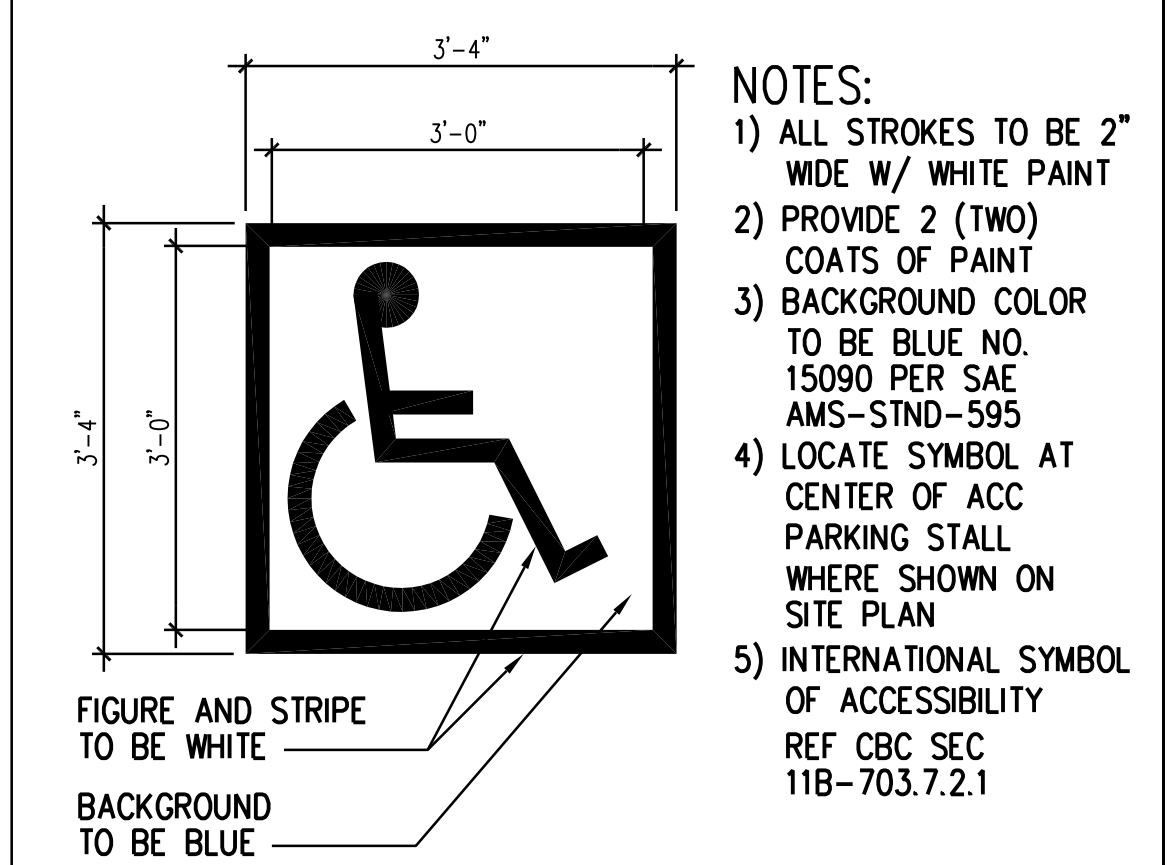
23

VAN ACCESSIBLE PARKING 1/4"=1'-0"

11

7

3



FILE/CS NUMBER: 01000-1102 REVISION DATE: 08/26/19 JOB NUMBER: 88100

24

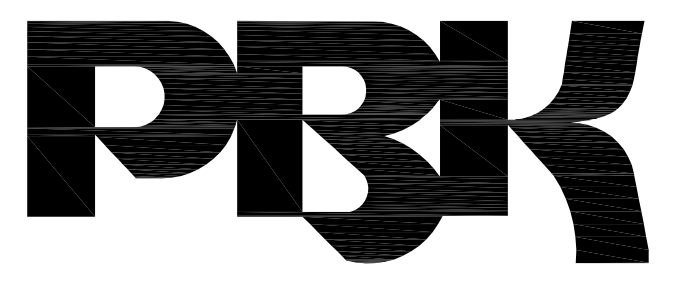
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16

12 ACCESS SIGN 3/4"=1'-0"

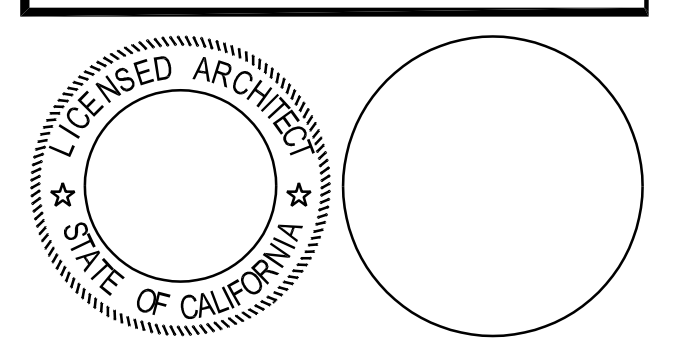
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4



RANCHO CUCAMONGA
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RANCHO CUCAMONGA, CA 91730
909-987-0909 P

DEL REY ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
15332 DEL REY DR.
VICTORVILLE, CA 92395



CONSULTANT

1	5/1/23	PBK	ADDENDUM 01

NO	DATE	BY	DESCRIPTION

DRAWN: WLC CHECKED: .
DATE: 02/24/2023 SCALE: AS NOTED
PROJECT NUMBER: 000000

DETAILS

DRAWING NUMBER: A1.2

**DISTRICT ADMINISTRATION OFFICE
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395**



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.

- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT : 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CCD MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. THE CCD SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGE ORDER.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 3	

PROJECT TEAM

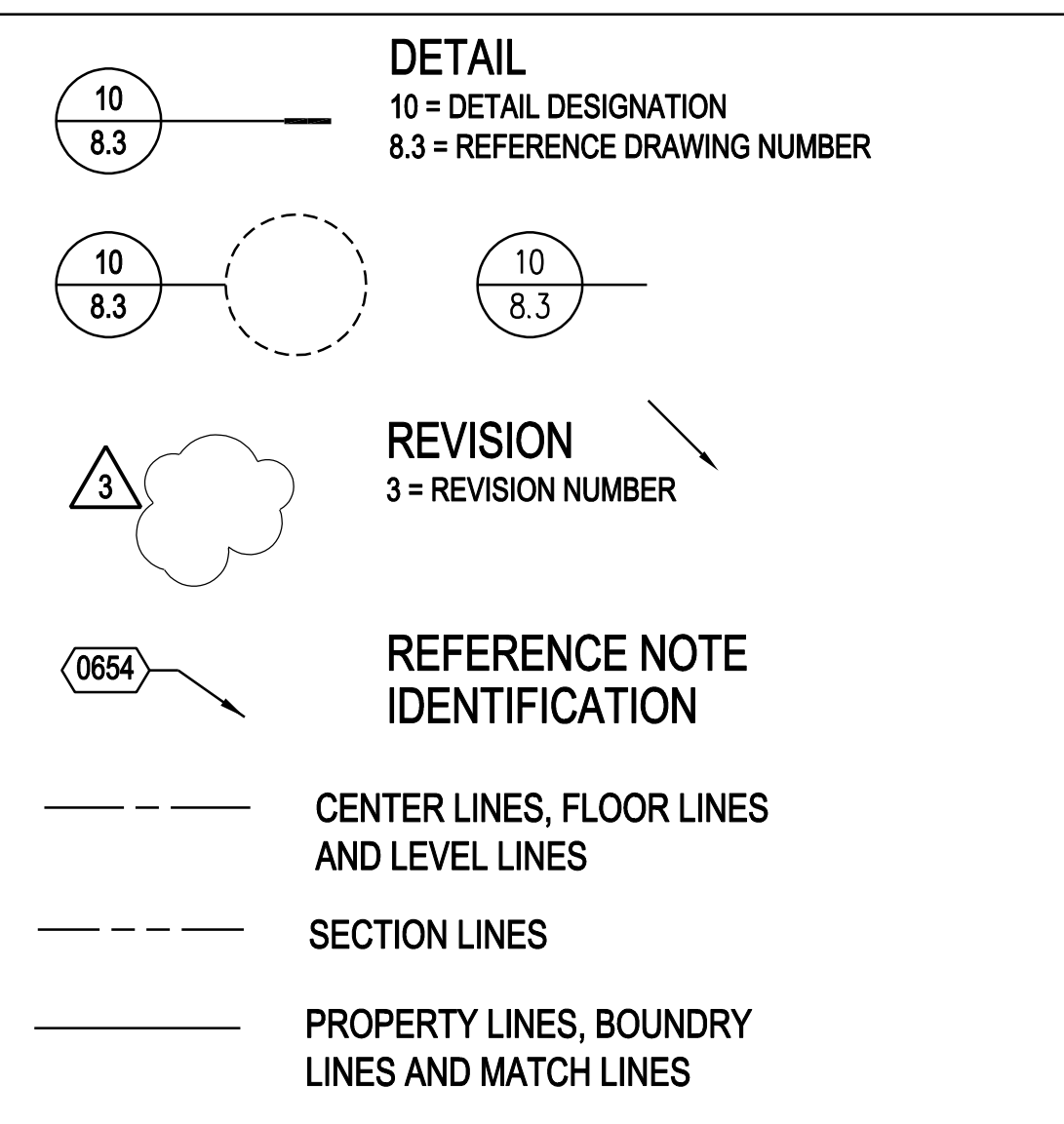
PROJECT ADDRESS
DISTRICT ADMINISTRATION OFFICE
12219 2ND AVE.,
VICTORVILLE, CA 92395
PHONE: 760-245-1691

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

**DISTRICT ADMINISTRATION OFFICE
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395**

DRAFTING SYMBOL LEGEND & ABBREVIATIONS



ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH	SCHED	SCHEDULE
CL	CHAIN LINK	SHT MTL	SHEET METAL
CLR	CLEAR(ANCE)	SLP	SLOPE
CLRM	CLASSROOM	STD	STANDARD
CONC	CONCRETE	STL	STEEL
DEMO	DEMOLISH, DEMOLITION	TYP	TYPICAL
EJ	EXPANSION JOINT	W/	WITH
GA	GAGE		
GALV	GALVANIZED		

GOVERNING AGENCIES

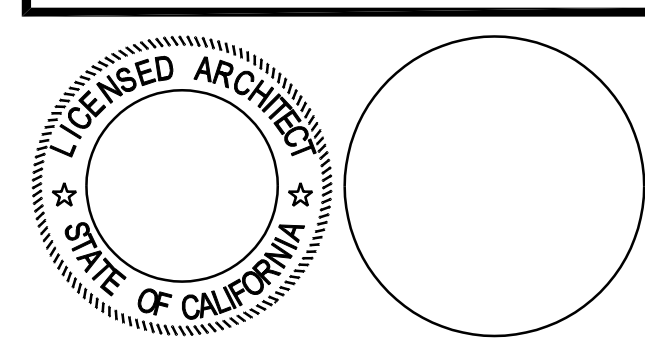
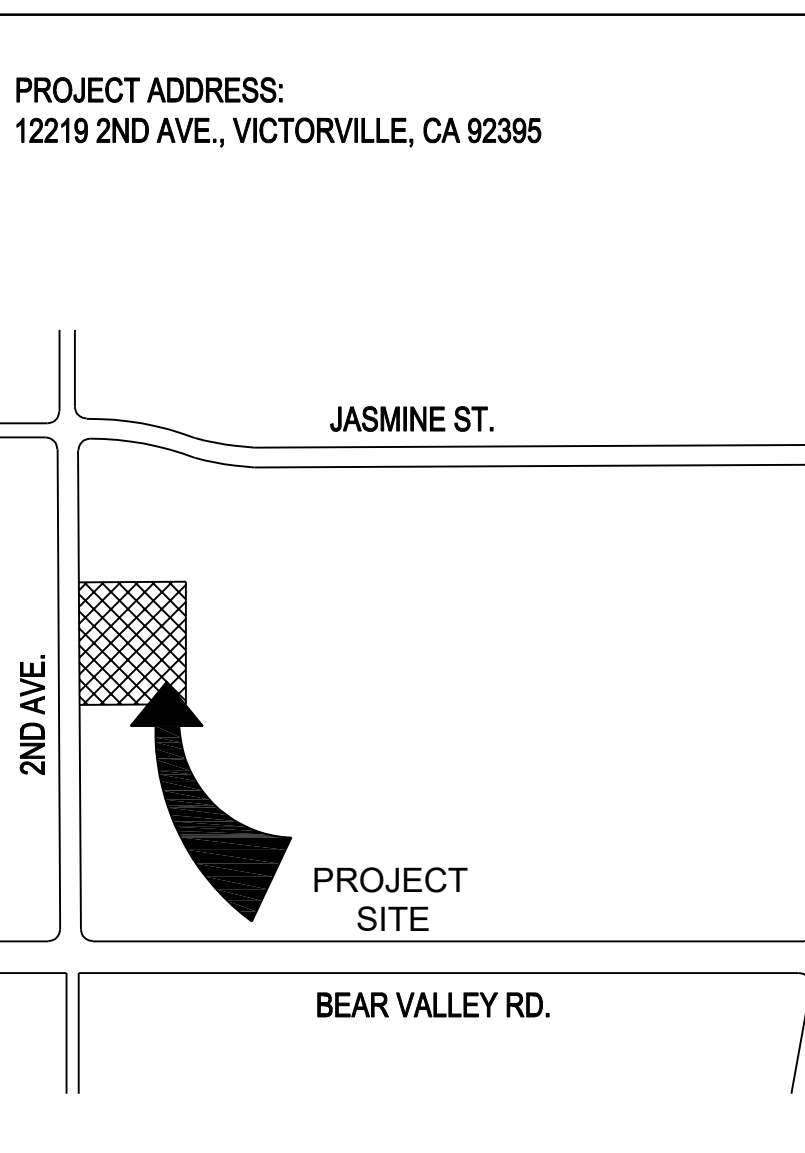
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



CONSULTANT

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01

REVISIONS

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

GENERAL NOTES & PROJECT DIRECTORY

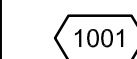
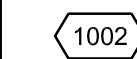
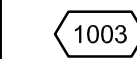
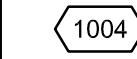
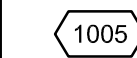
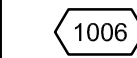
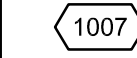
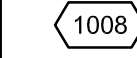
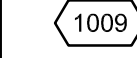
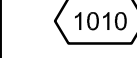
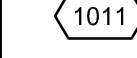
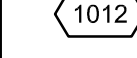
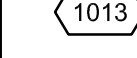
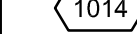
DRAWING NUMBER: A0.1

TOTAL PARKING SPACES = 181	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 6	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
	175	4	2	181

AREA 2 - PARK CALCULATION

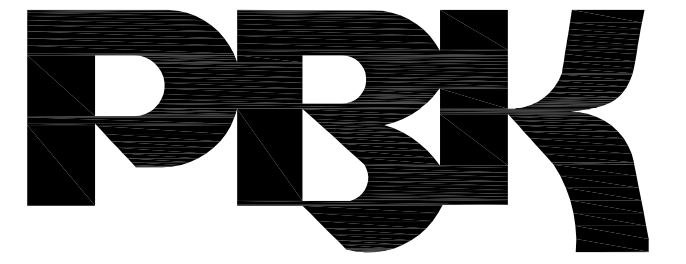
 AREA OF SLURRY COAT, STRIPING, & PAVEMENT

SITE LEGEND

-  1001 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
-  1002 (E) TOW-AWAY SIGN.
-  1003 4" WIDE WHITE PAVEMENT STRIPING.
-  1004 ACCESSIBLE CROSSWALK, 5% MAX SLOPE IN DIRECTION OF PATH, 2% MAX CROSS SLOPE, 4" WIDE PAVEMENT BORDER AND DIAGONAL STRIPING.
-  1005 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
-  1006 12" H PAINTED WHITE TEXT.
-  1007 ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
-  1008 VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
-  1009 (E) TRUNCATED DOMES.
-  1010 4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
-  1011 WHEEL STOP.
-  1012 VAN ACCESSIBLE PARKING STALL, REF DETAIL 15/A1.2.
-  1013 ACCESSIBLE PARKING STALL, REF DETAIL 14/A1.2.
-  1014 FLUSH TRANSITION, REF DETAIL 4/A1.2.

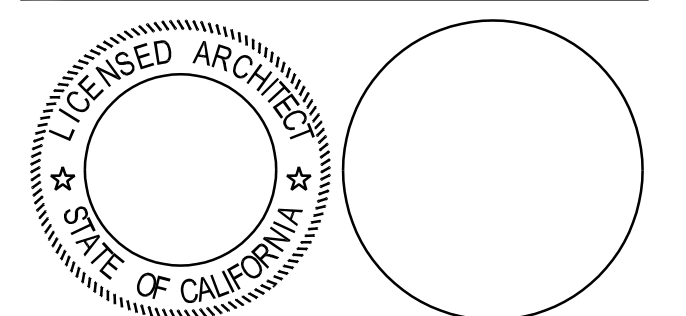
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**DISTRICT ADMINISTRATION OFFICE
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
12219 2ND AVE.
VICTORVILLE, CA 92395



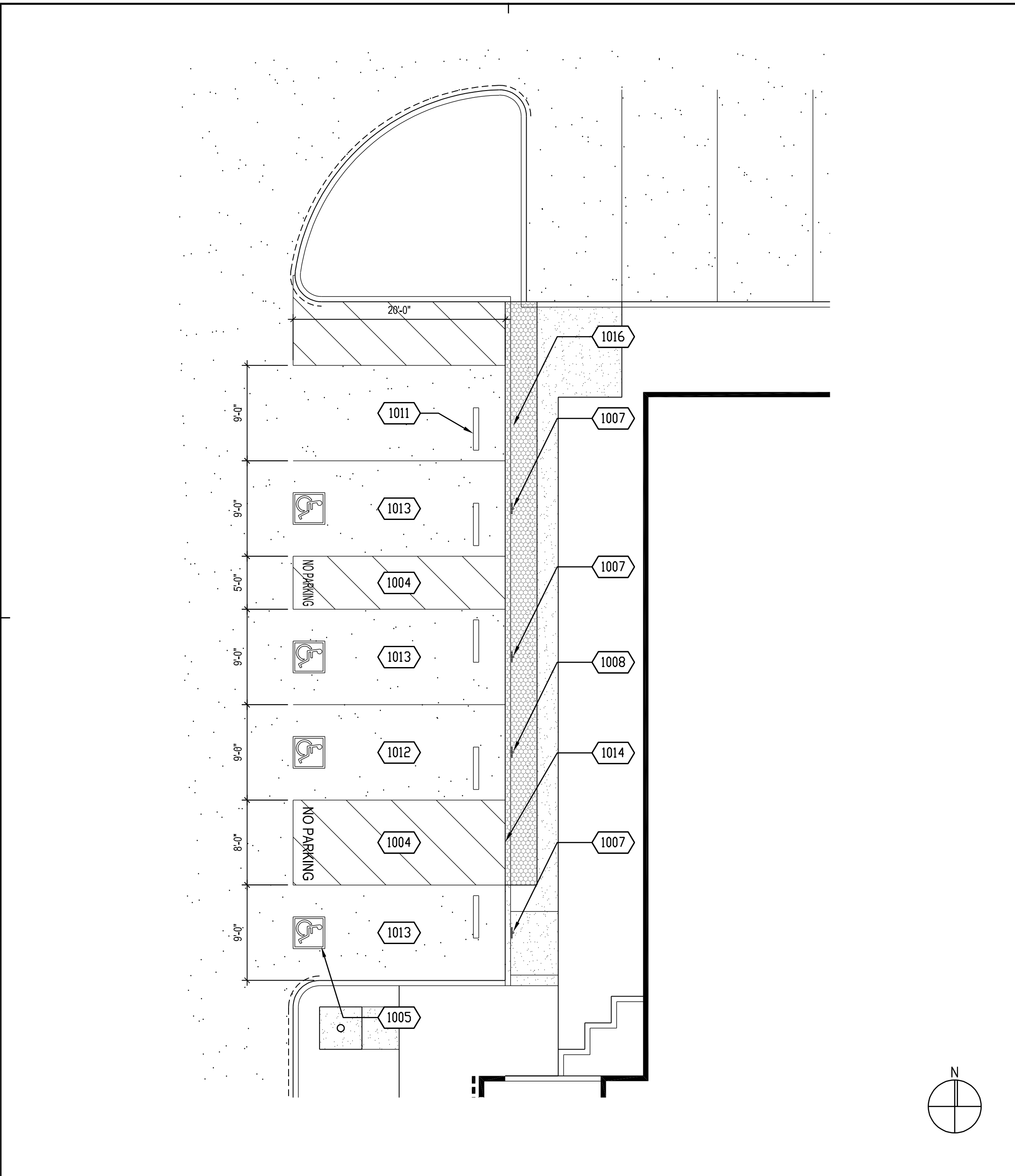
CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

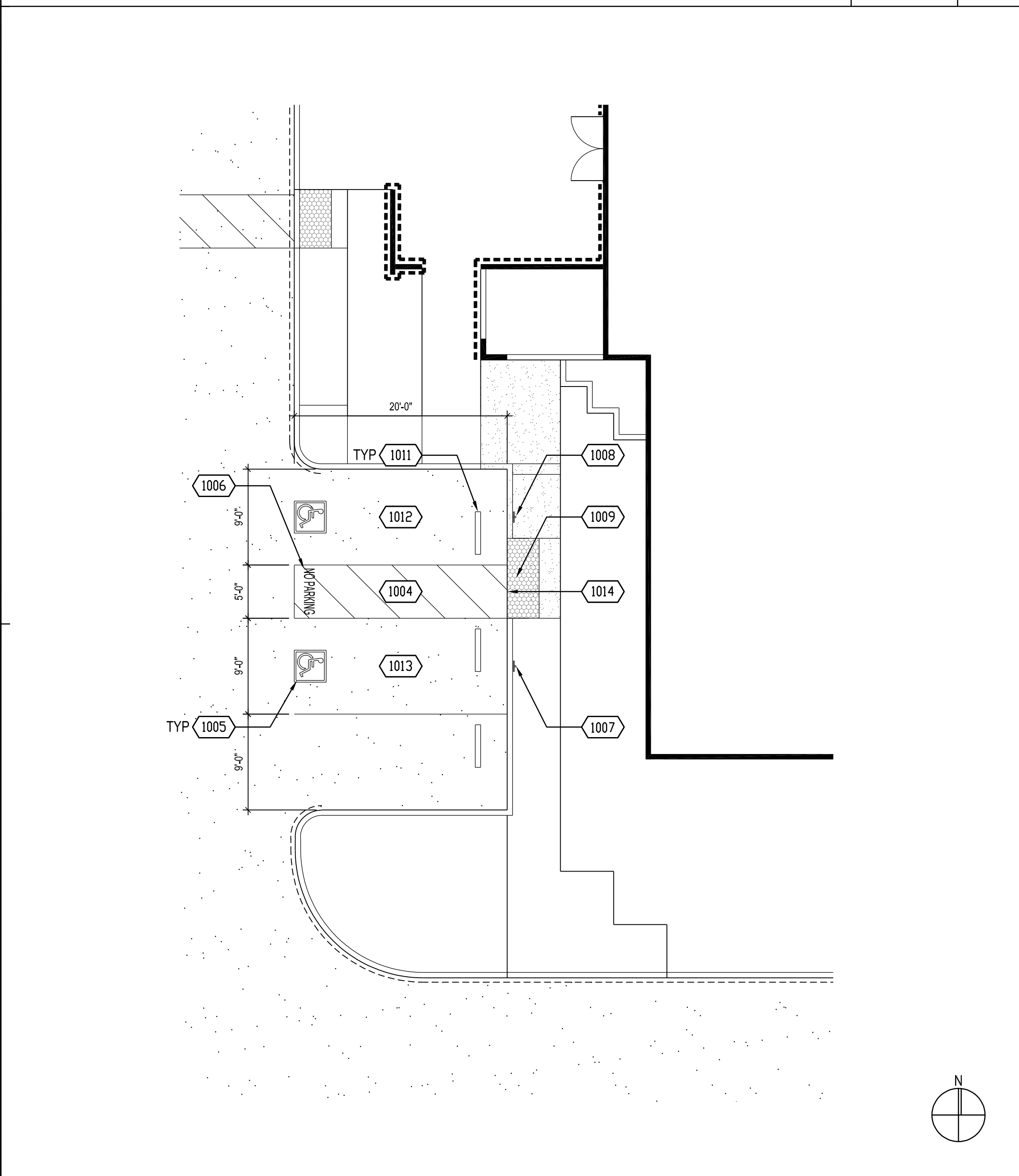
DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

ENLARGED SITE PLAN

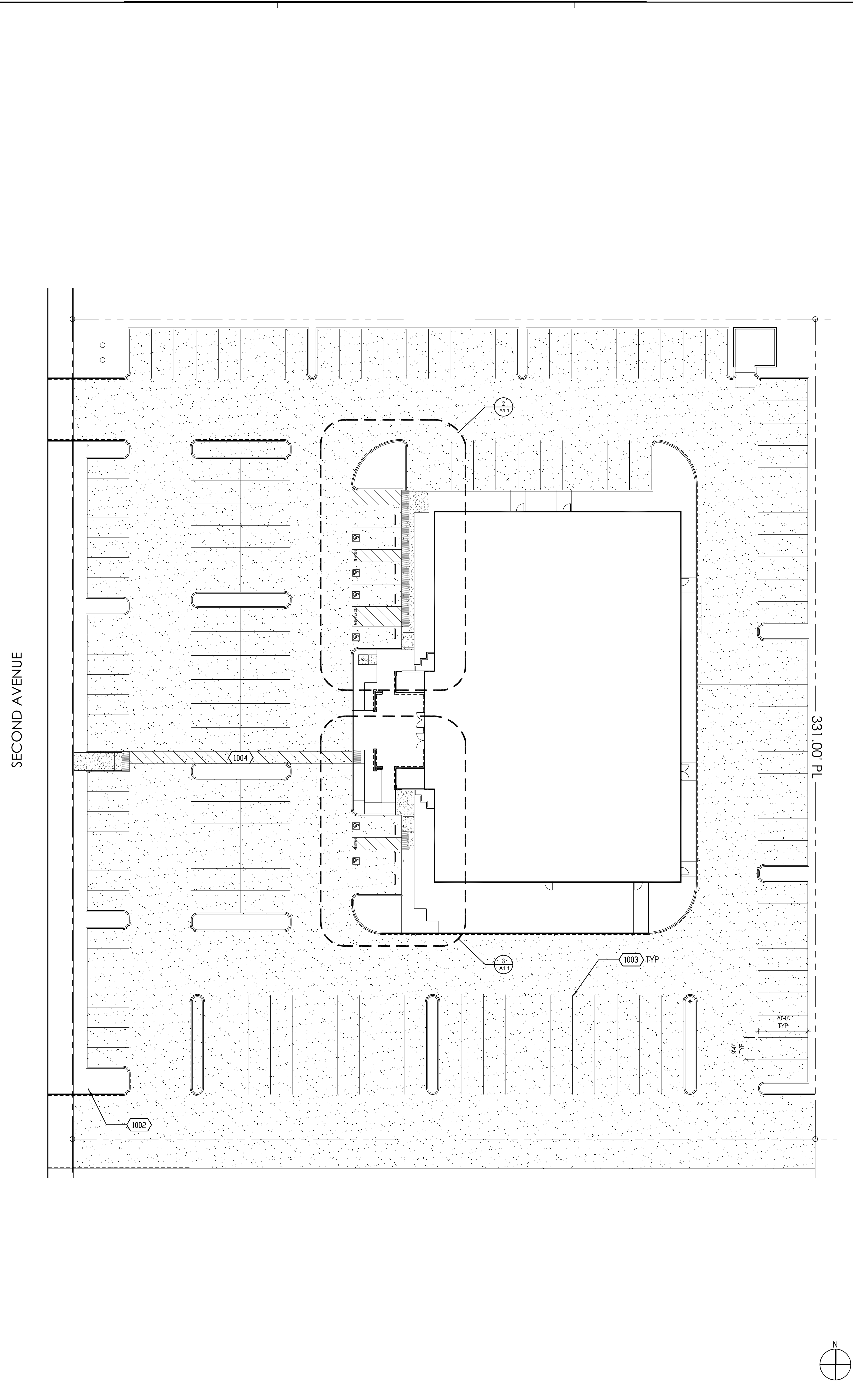
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ENLARGED SITE PLAN 1/8" = 1'-0" 2

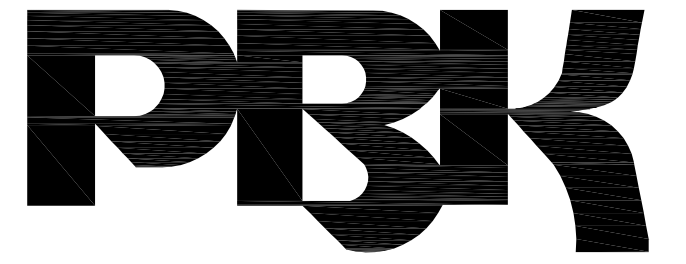


ENLARGED SITE PLAN 1/8" = 1'-0" 3



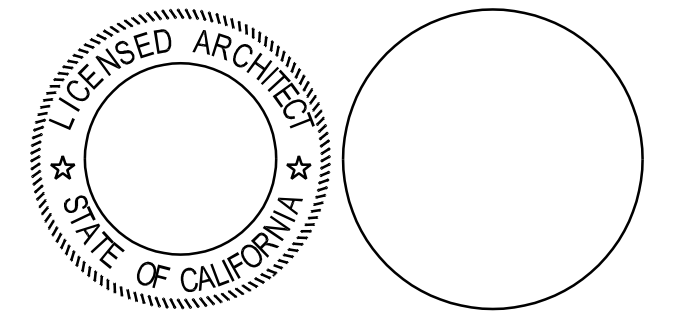
ENLARGED SITE PLAN 1" = 20'-0" 1

GENERAL NOTES



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

DISTRICT ADMINISTRATION OFFICE
PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT
 12219 2ND AVE.
 VICTORVILLE, CA 92395

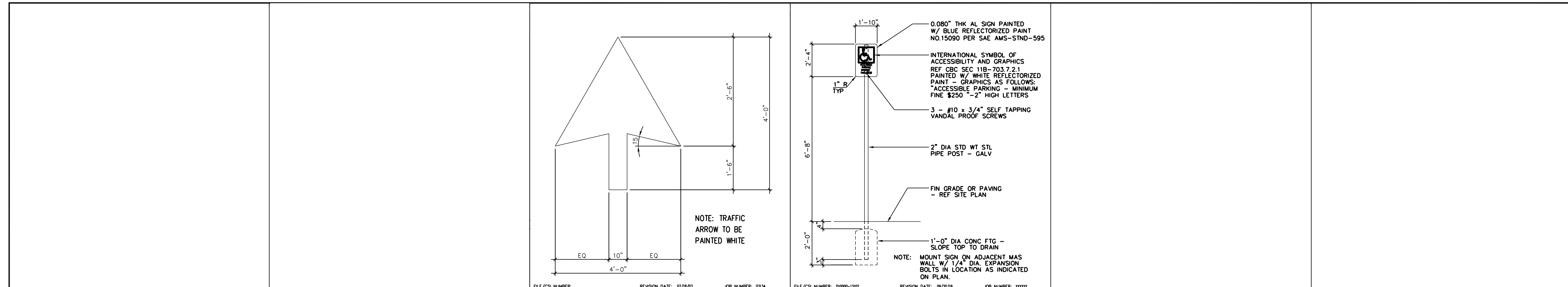


CONSULTANT

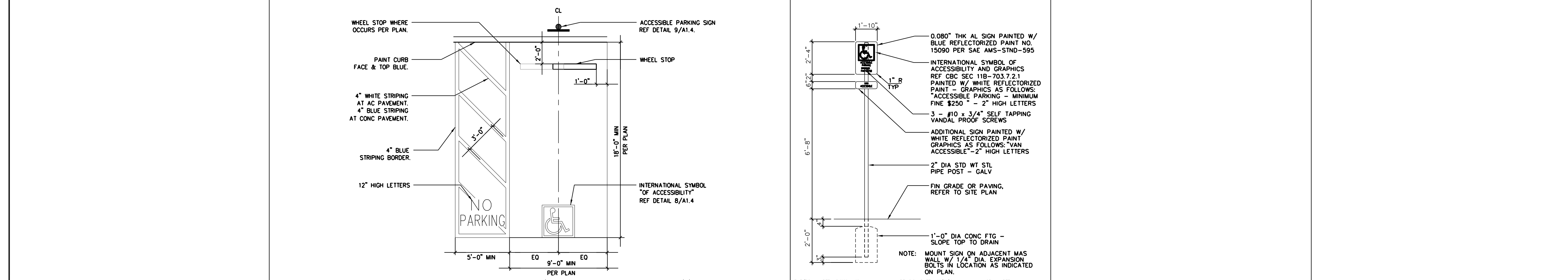
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NO	DATE	BY	DESCRIPTION
REVISIONS			
DRAWN: WLC		CHECKED: .	
DATE: 02/24/2023		SCALE: AS NOTED	
PROJECT NUMBER: 000000			

DETAILS

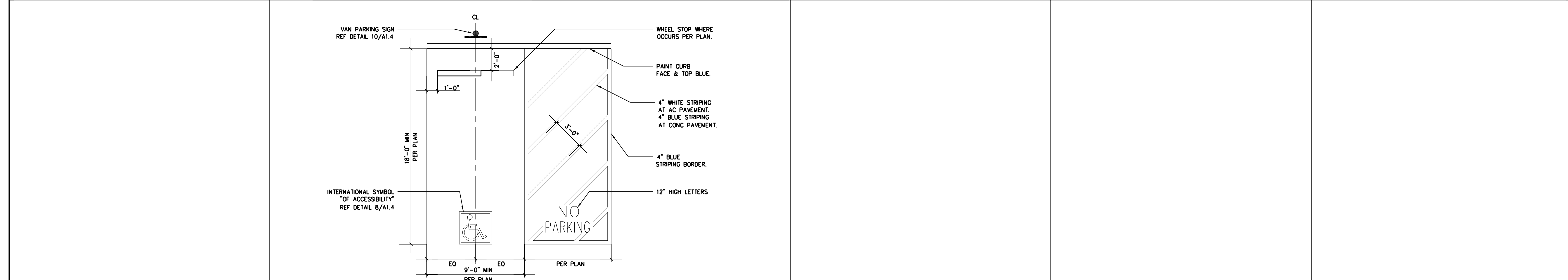
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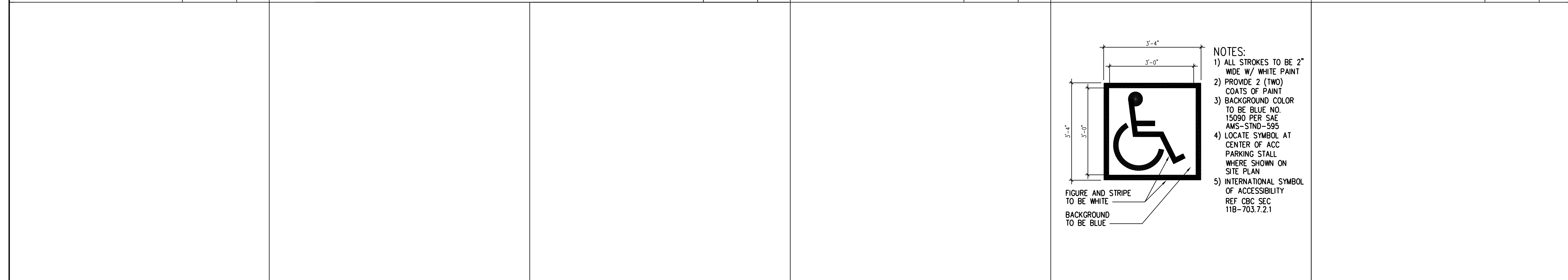
21	1 1/2"=1'-0"	17	TRAFFIC ARROW	1/2"=1'-0"	13	PARKING SIGN	1/2"=1'-0"	9	5
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22	1/4"=1'-0"	14	ACCESSIBLE PARKING	1/2"=1'-0"	10	PARKING SIGN	1/2"=1'-0"	6	2
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23	1/4"=1'-0"	15	VAN ACCESSIBLE PARKING	1/2"=1'-0"	11		7	3
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24		20			16		12	ACCESS SIGN	3/4"=1'-0"	8	4
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ENDEAVOUR SCHOOL OF EXPLORATION PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

12403 RIDGECREST RD.,
VICTORVILLE, CA 92395



GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT : 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
 - 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
 - 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
 - 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
 - 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
 - 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
 - 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
 - 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
 - 2022 CALIFORNIA REFERENCED STANDARDS CODE -CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
 - CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
 - 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA , UL AND ICC STANDARDS FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	ENLARGED SITE PLAN
A1.3	DETAILS
TOTAL NUMBER OF SHEETS: 5	

PROJECT TEAM

PROJECT ADDRESS
 ENDEAVOUR SCHOOL OF EXPLORATION
 12403 RIDGECREST RD.,
 VICTORVILLE, CA 92395
 PHONE: 760-843-7303

OWNER
 VICTOR ELEMENTARY SCHOOL DISTRICT
 12219 2ND AVE.
 VICTORVILLE, CA 92395
 PHONE: 760-245-1691

ARCHITECT
 PBK ARCHITECTS, INC.
 8163 ROCHESTER AVE., SUITE 100
 RANCHO CUCAMONGA, CA 91730
 PHONE: 909-987-0909 FAX: 909-980-8980

**ENDEAVOUR SCHOOL OF EXPLORATION
 PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT**
 12403 RIDGECREST RD.
 VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
 10 = DETAIL DESIGNATION
 8.3 = REFERENCE DRAWING NUMBER

REVISION
 3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

--- CENTER LINES, FLOOR LINES AND LEVEL LINES
 - - - SECTION LINES
 = = = PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

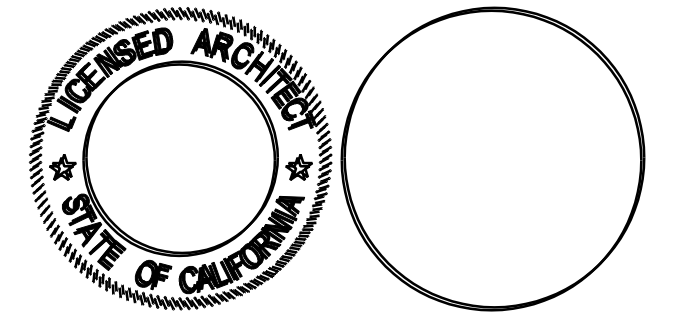
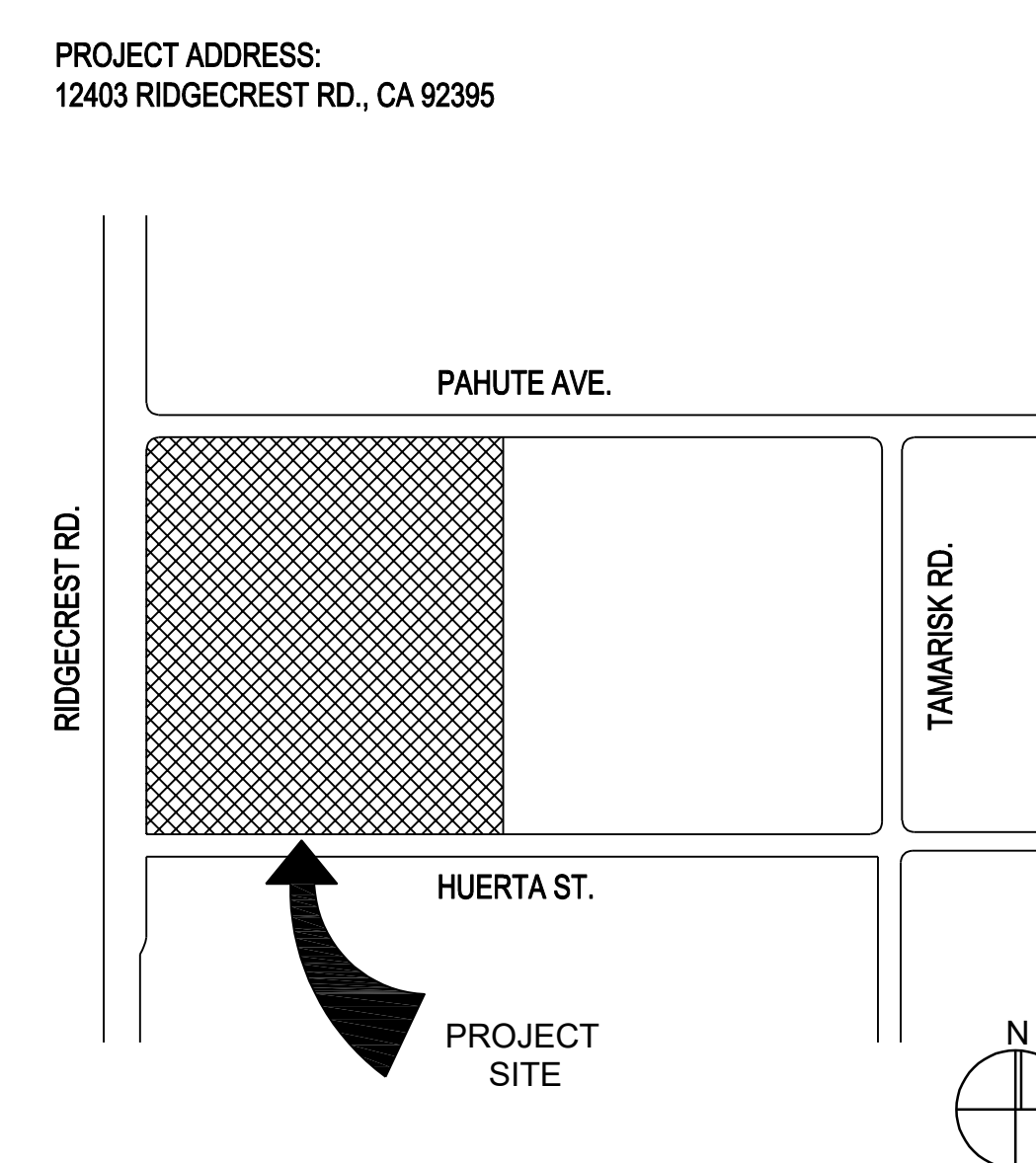
DIVISION OF THE STATE ARCHITECT
 ACCESS COMPLIANCE (DSA/AC)
 10920 VIA FRONTERA, SUITE 300
 SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



CONSULTANT			

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01

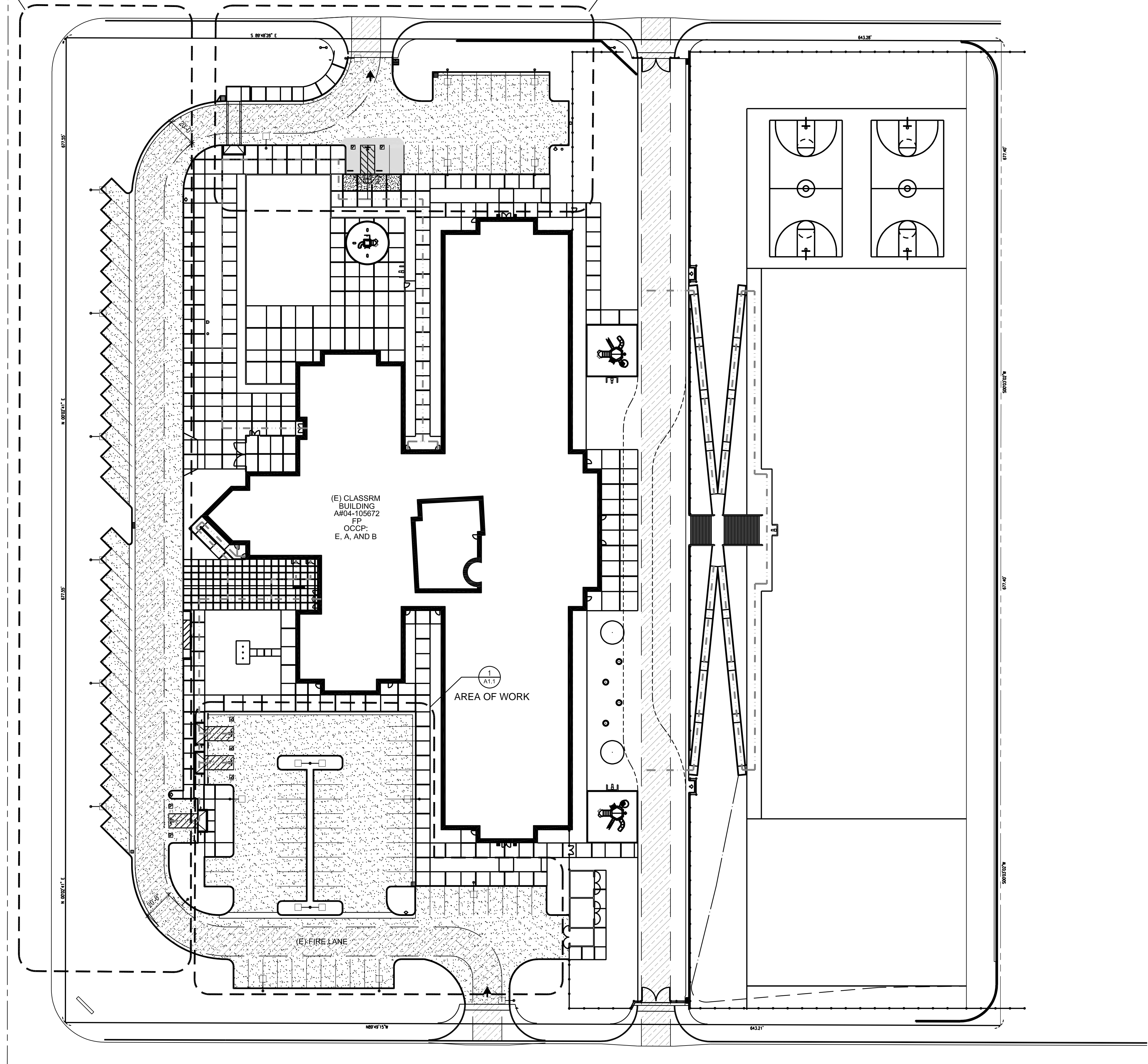
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DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

**GENERAL NOTES
& PROJECT
DIRECTORY**

DRAWING NUMBER: A0.1

AREA OF WORK

AREA OF WORK



TOTAL PARKING SPACES = 55	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 3	52	2	1	55

PARK CALCULATION - LOT C

TOTAL PARKING SPACES = 11	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 4	9	1	1	11

PARK CALCULATION - LOT B

TOTAL PARKING SPACES = 55	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 3	52	2	1	55

PARK CALCULATION - LOT A

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

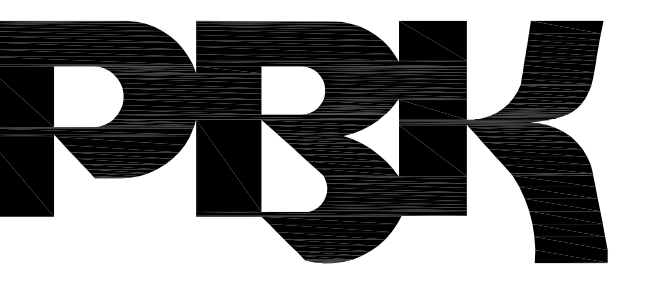
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

--- (E) P.O.T. A#04-105672
 - - - (N) P.O.T.

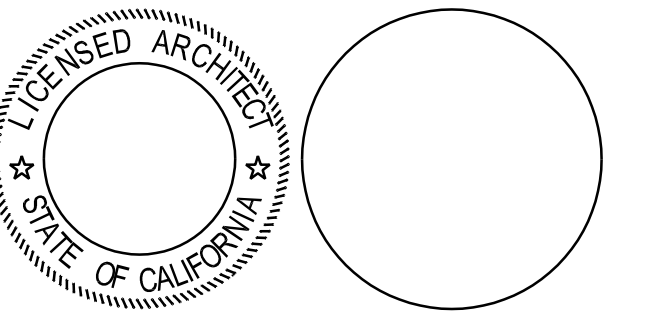
PATH OF TRAVEL

- AREA OF SLURRY COAT AND PAVEMENT STRIPING.
- AREA OF GRIND AND OVERLAY.
- CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DO TO NEW WORK.
- (E) FIRE LANE 20'-0" MIN CLR A#04-105672



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

**ENDEAVOUR SCHOOL OF EXPLORATION
 PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT
 12403 RIDGECREST RD.
 VICTORVILLE, CA 92395**



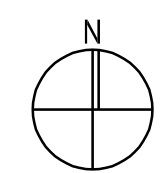
CONSULTANT

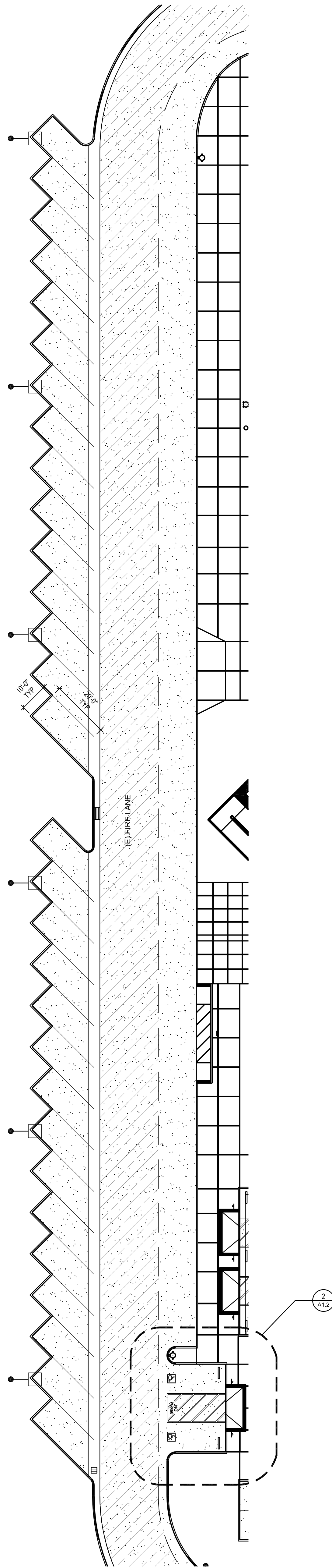
1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: CHECKED:
 DATE: 02/24/2023 SCALE:
 PROJECT NUMBER: 000000

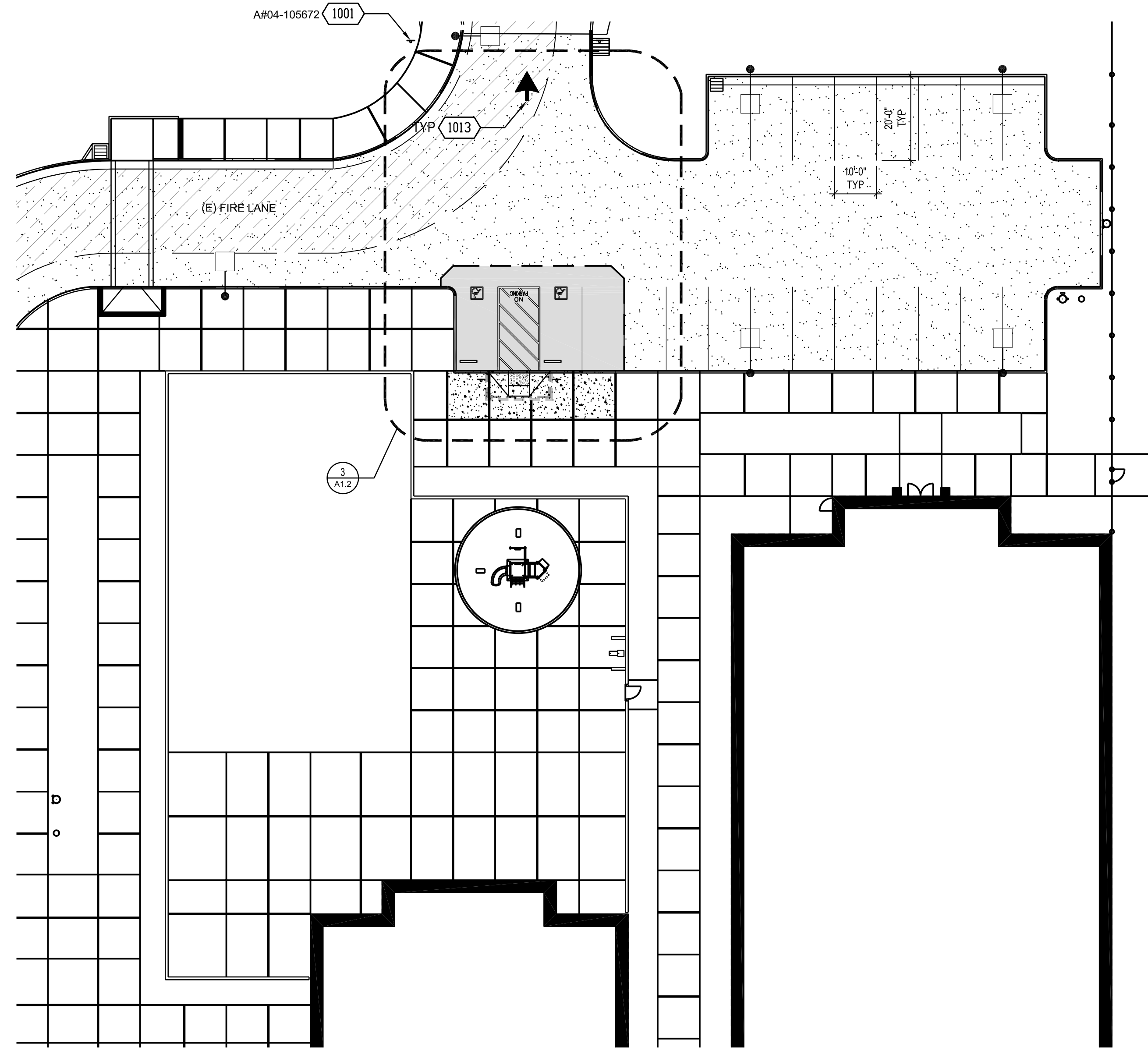
OVERALL SITE PLAN

DRAWING NUMBER: **A1.0**

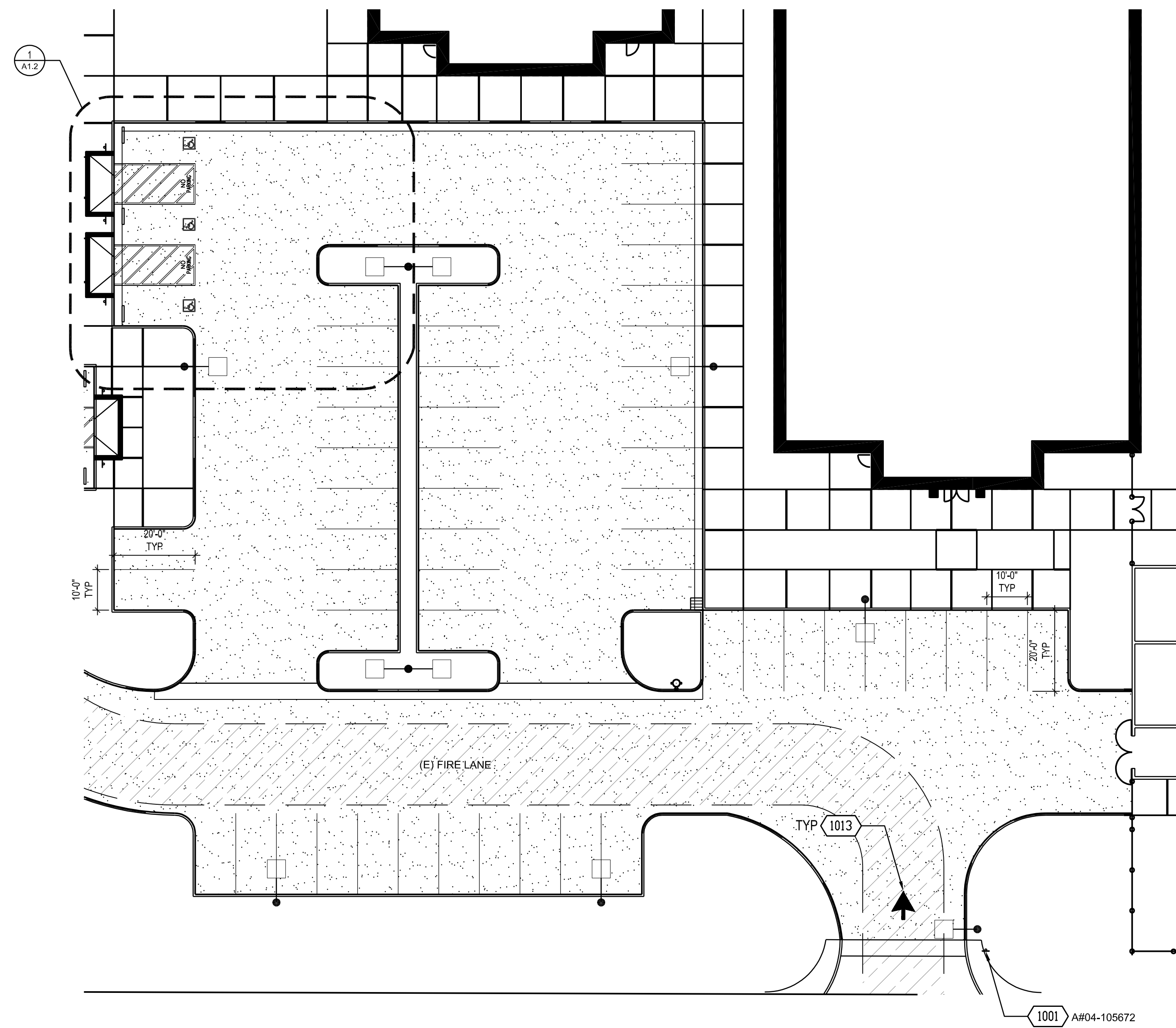




ENLARGED SITE PLAN - LOT C 1" = 20'-0" 3



ENLARGED SITE PLAN - LOT B 1" = 20'-0" 2



ENLARGED SITE PLAN - LOT A 1" = 20'-0" 1

TOTAL PARKING SPACES = 55	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 3	52	2	1	55



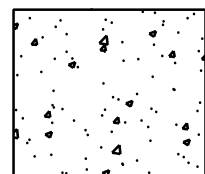
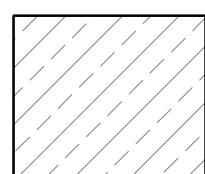
PARK CALCULATION - LOT C

TOTAL PARKING SPACES = 11	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 4	9	1	1	11

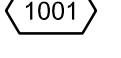
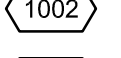
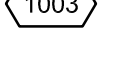

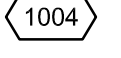
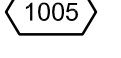
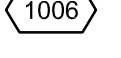
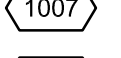
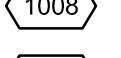
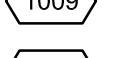
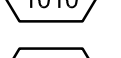
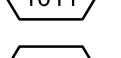
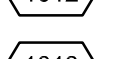
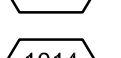
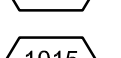
PARK CALCULATION - LOT B

TOTAL PARKING SPACES = 55	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 3	52	2	1	55

PARK CALCULATION - LOT A

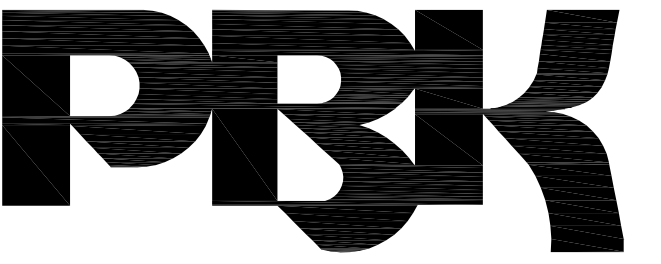
-  AREA OF SLURRY COAT, STRIPING, & PAVEMENT
-  AREA OF GRIND AND OVERLAY.
-  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DO TO NEW WORK.
-  (E) FIRE LANE 26'-0" CLR.

SITE LEGEND

-  (E) TOW-AWAY SIGN.
-  4" WIDE WHITE PAVEMENT STRIPING.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE PAVEMENT BORDER AND 4" WIDE DIAGONAL STRIPING.
-  PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.3.
-  12" H PAINTED WHITE TEXT.
-  ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.3.
-  VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.3.
-  (E) WHEEL STOP, RELOCATE AS REQUIRED.
-  4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
-  (E) CONC CURB RAMP.
-  VAN ACCESSIBLE PARKING, REF DETAIL 15/A1.3.
-  ACCESSIBLE PARKING, REF DETAIL 14/A1.3.
-  TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.3.
-  PAINT TOP OF CURB AND CURB FACE BLUE.
-  FLUSH TRANSITION.

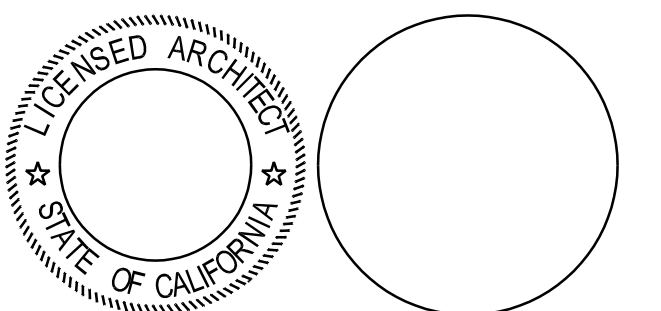
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**ENDEAVOUR SCHOOL OF EXPLORATION
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
12403 RIDGECREST RD.
VICTORVILLE, CA 92395



CONSULTANT

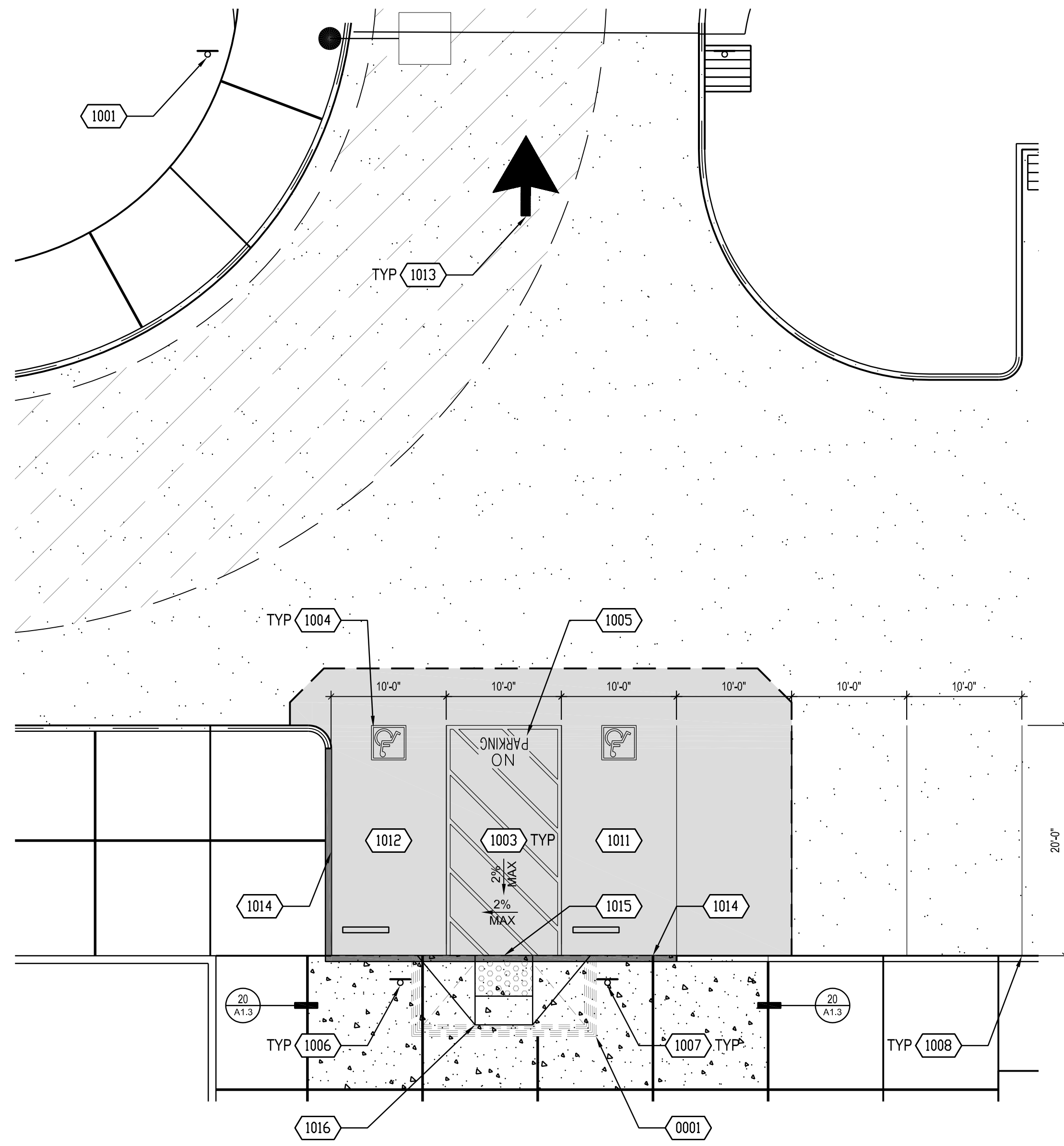
NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

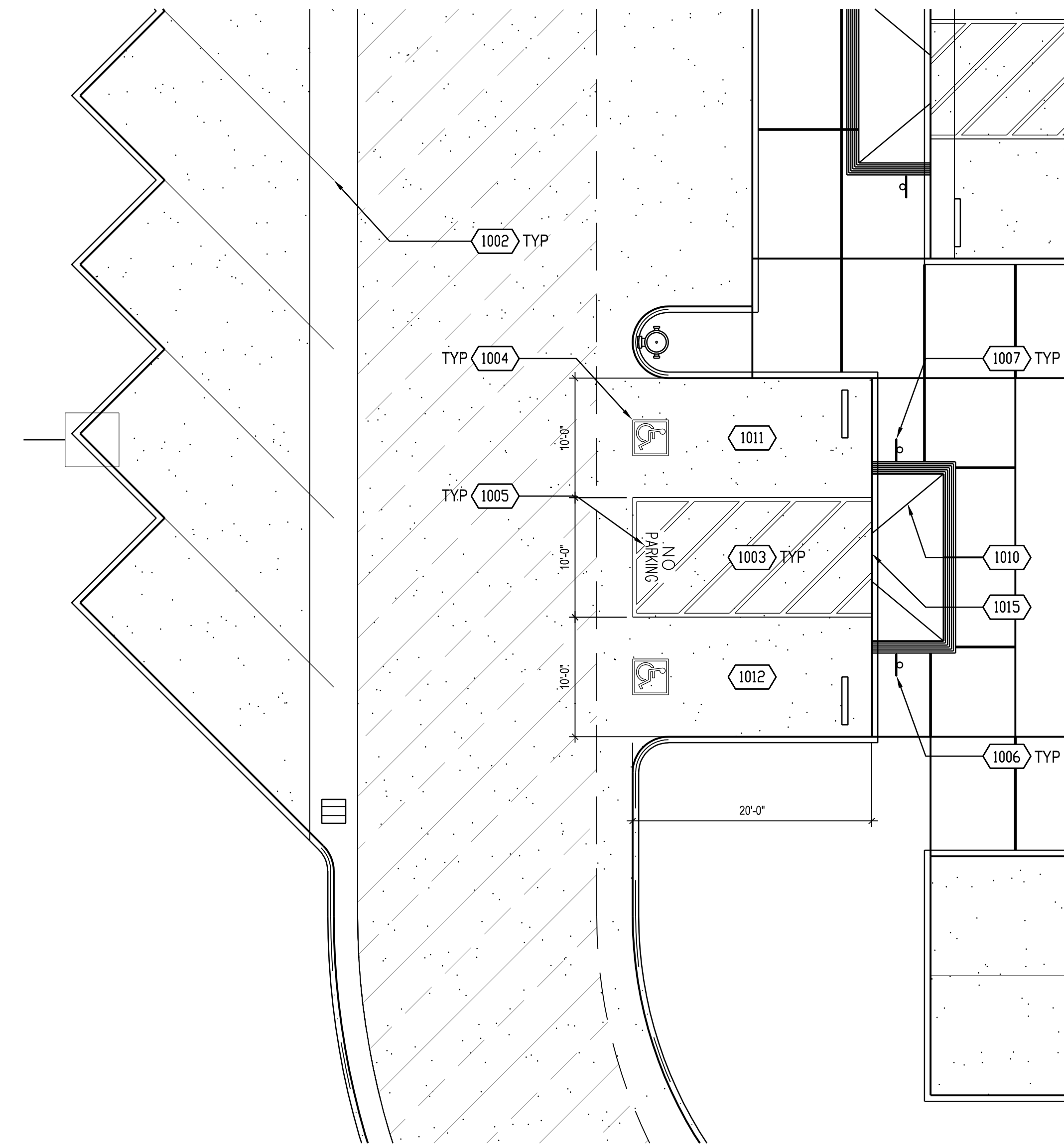
**ENLARGED
SITE PLAN**

DRAWING NUMBER: **A1.1**

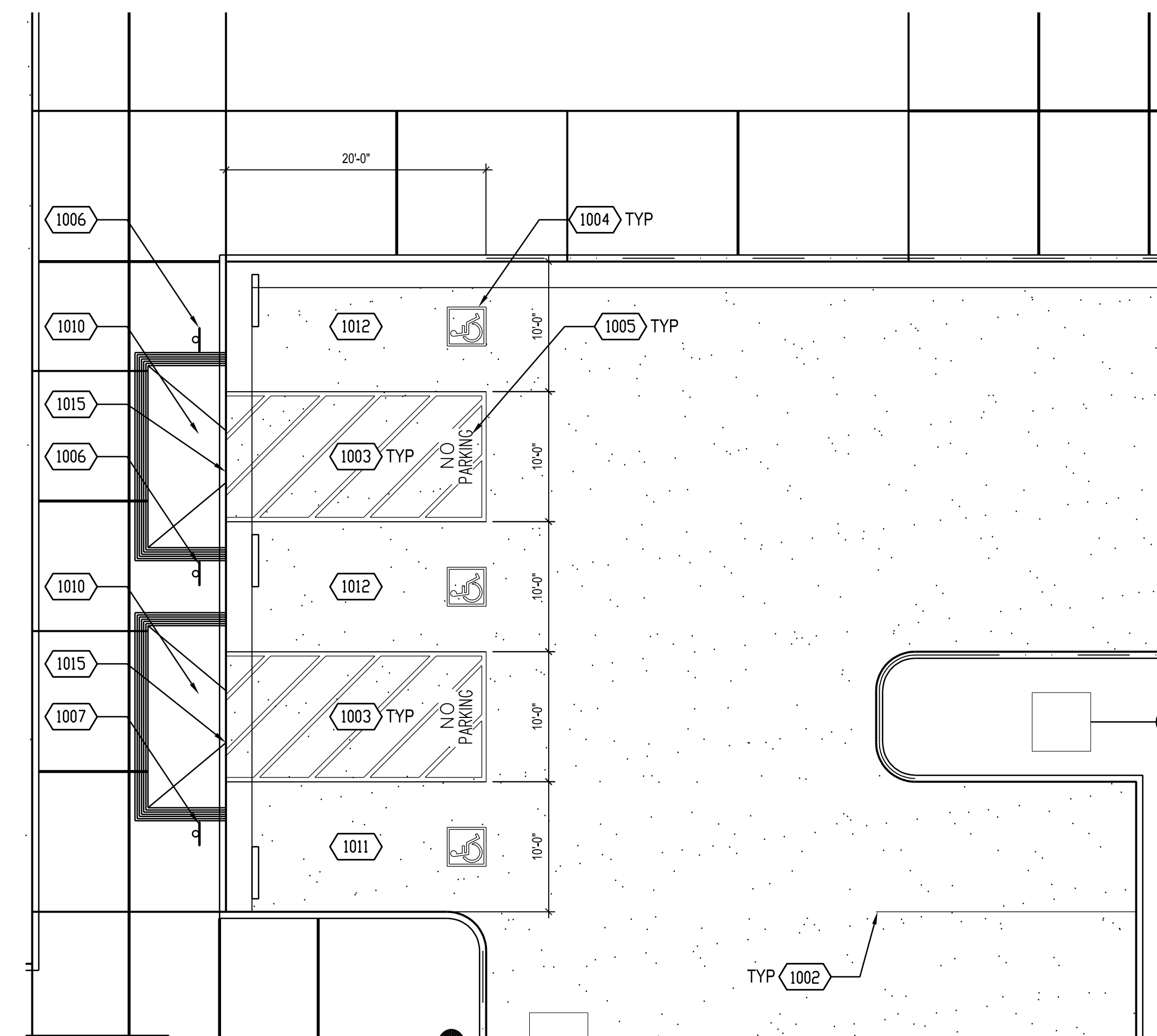
GENERAL NOTES



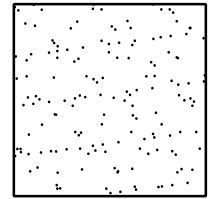
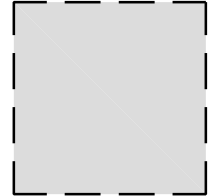
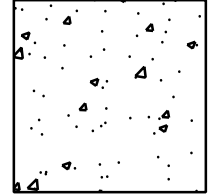
ENLARGED SITE PLAN - LOT B 1/8" = 1'-0" 3



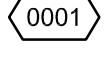
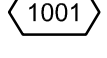
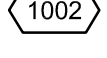
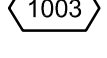

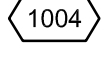
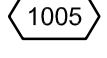
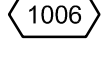
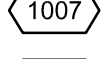
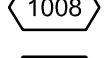
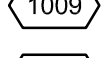
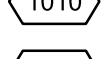
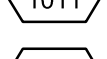
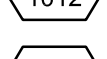
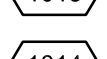
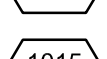
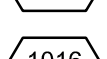
ENLARGED SITE PLAN - LOT B 1/8" = 1'-0" 2



ENLARGED SITE PLAN - LOT A 1/8" = 1'-0" 1

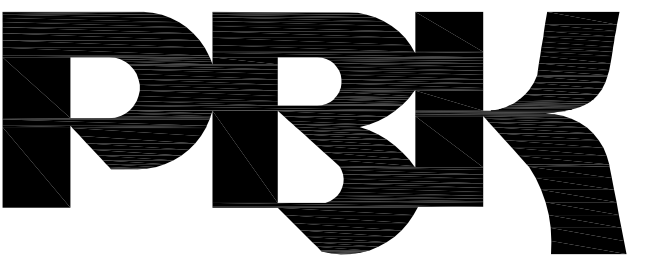
-  AREA OF SLURRY COAT.
-  AREA OF GRIND AND OVERLAY.
-  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK. PROVIDE EXPANSION JOINTS (EJ) AT 20'-0" MAX INTERVALS, AND CONTROL JOINTS AT 5'-0" MAX INTERVAL BETWEEN EJ.

SITE LEGEND

-  DEMO (E) CURB RAMP
-  (E) TOW-AWAY SIGN.
-  4" WIDE WHITE PAVEMENT STRIPING.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE PAVEMENT BORDER AND 4" WIDE DIAGONAL STRIPING.
-  PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.3.
-  12" H PAINTED WHITE TEXT.
-  ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.3.
-  VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.3.
-  (E) WHEEL STOP, RELOCATE AS REQUIRED.
-  4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
-  (E) CONC CURB RAMP.
-  VAN ACCESSIBLE PARKING, REF DETAIL 15/A1.3.
-  ACCESSIBLE PARKING, REF DETAIL 14/A1.3.
-  TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.3.
-  PAINT TOP OF CURB AND CURB FACE BLUE.
-  FLUSH TRANSITION, REF DETAIL 4/A1.3.
-  CONC CURB RAMP, REF DETAIL 6/A1.3.

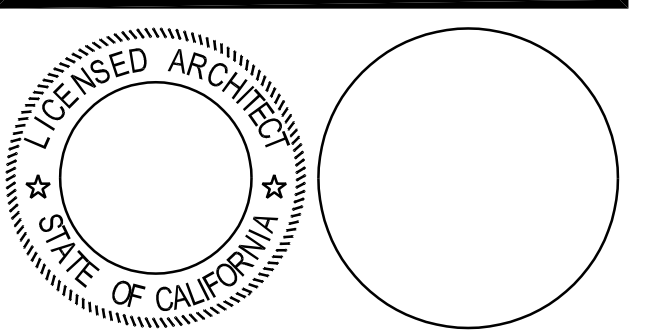
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.



RANCHO CUCAMONGA
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**ENDEAVOUR SCHOOL OF EXPLORATION
PARKING LOT SLURRY SEAL**
 VICTOR ELEMENTARY SCHOOL DISTRICT
 12403 RIDGECREST RD.
 VICTORVILLE, CA 92395



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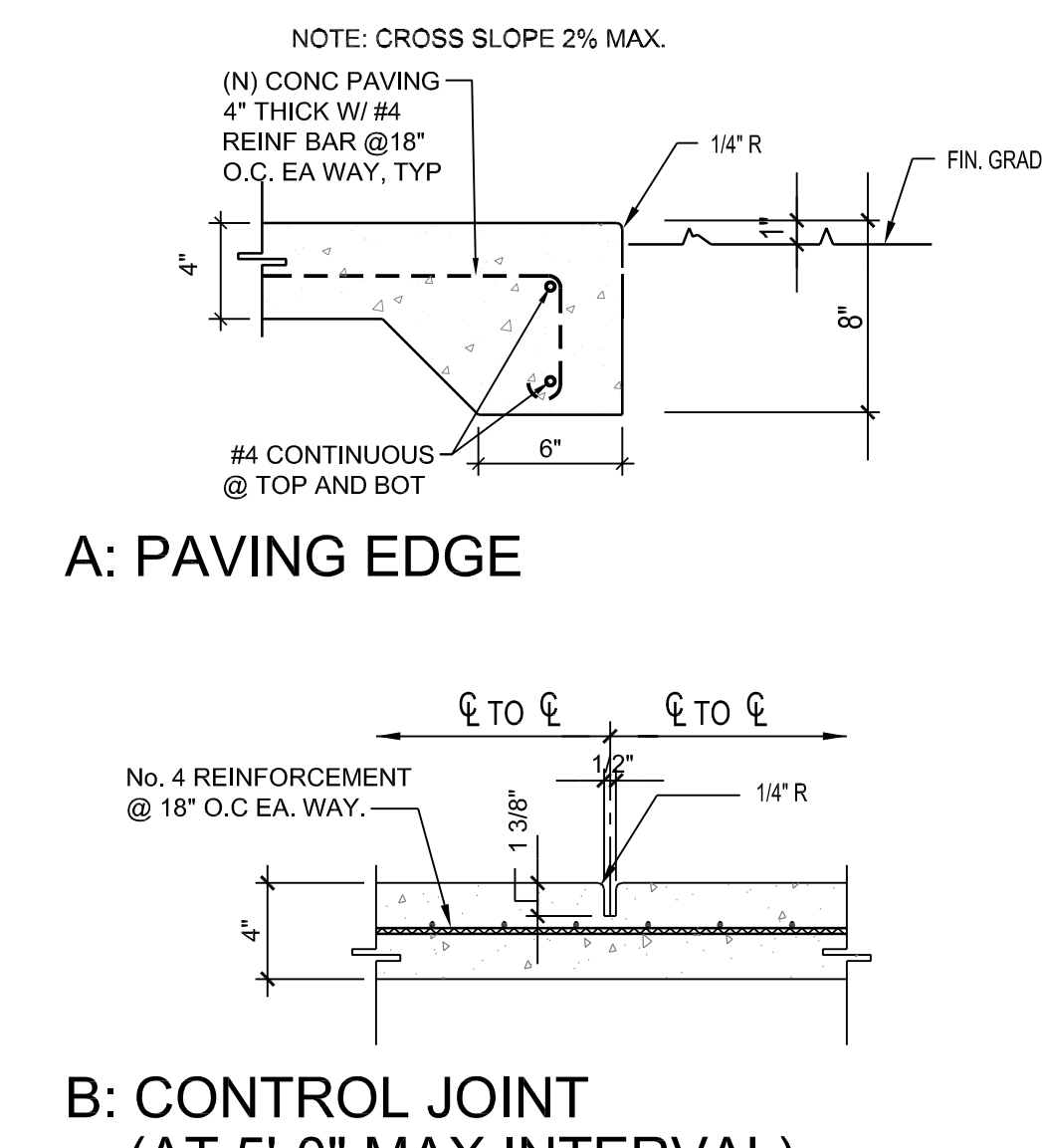
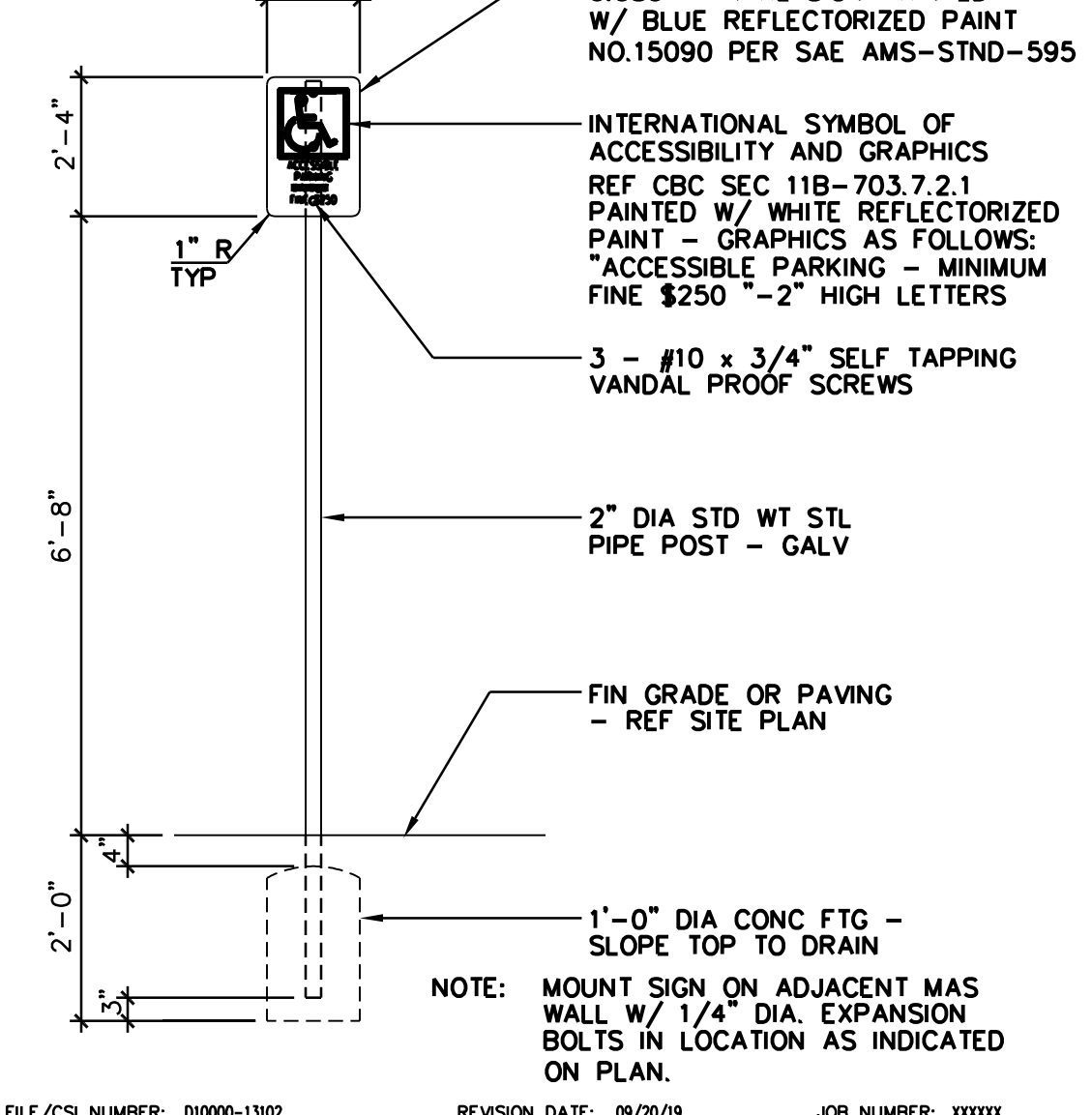
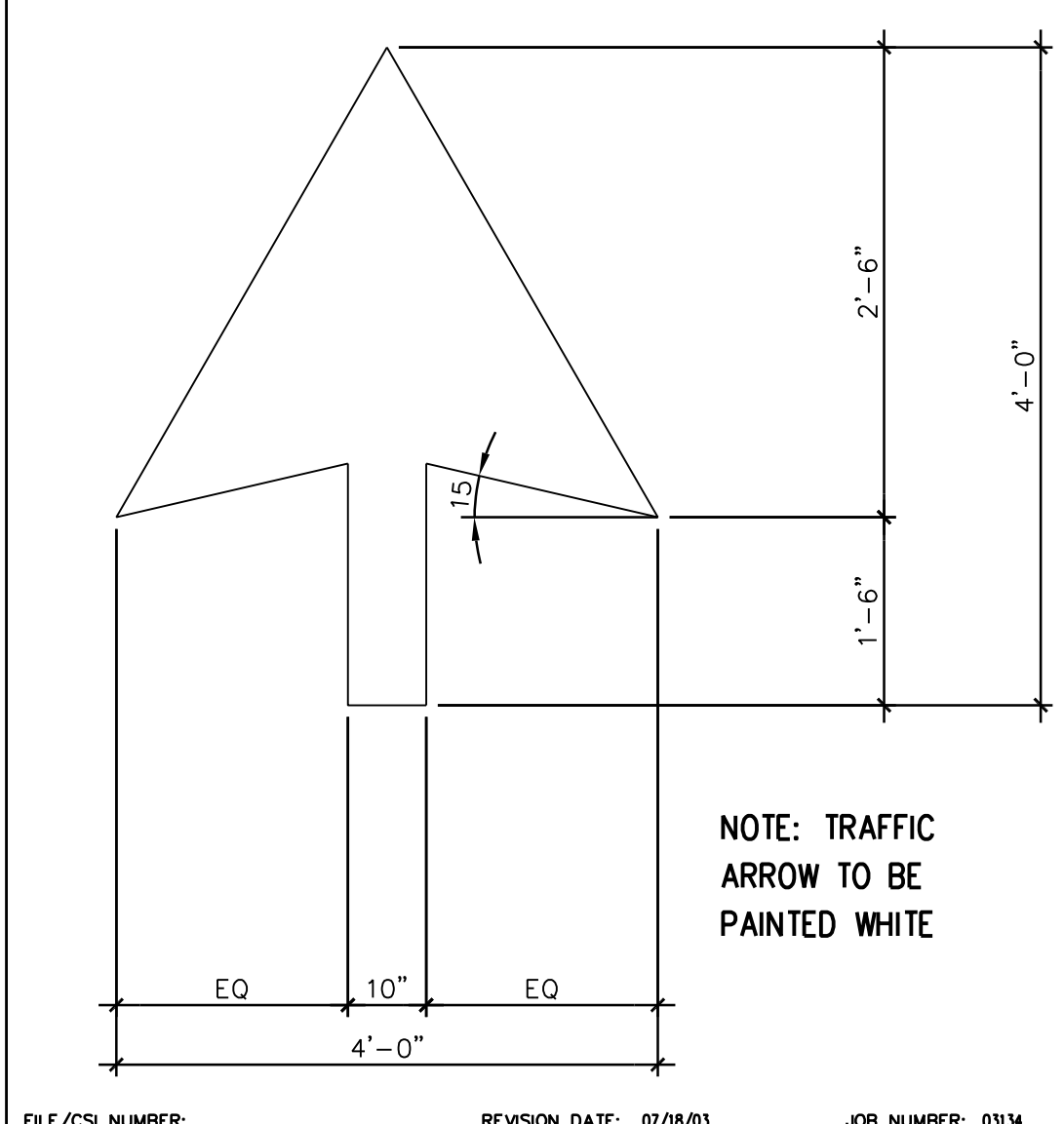
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NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

ENLARGED
SITE PLAN

DRAWING NUMBER: **A1.2**

GENERAL NOTES

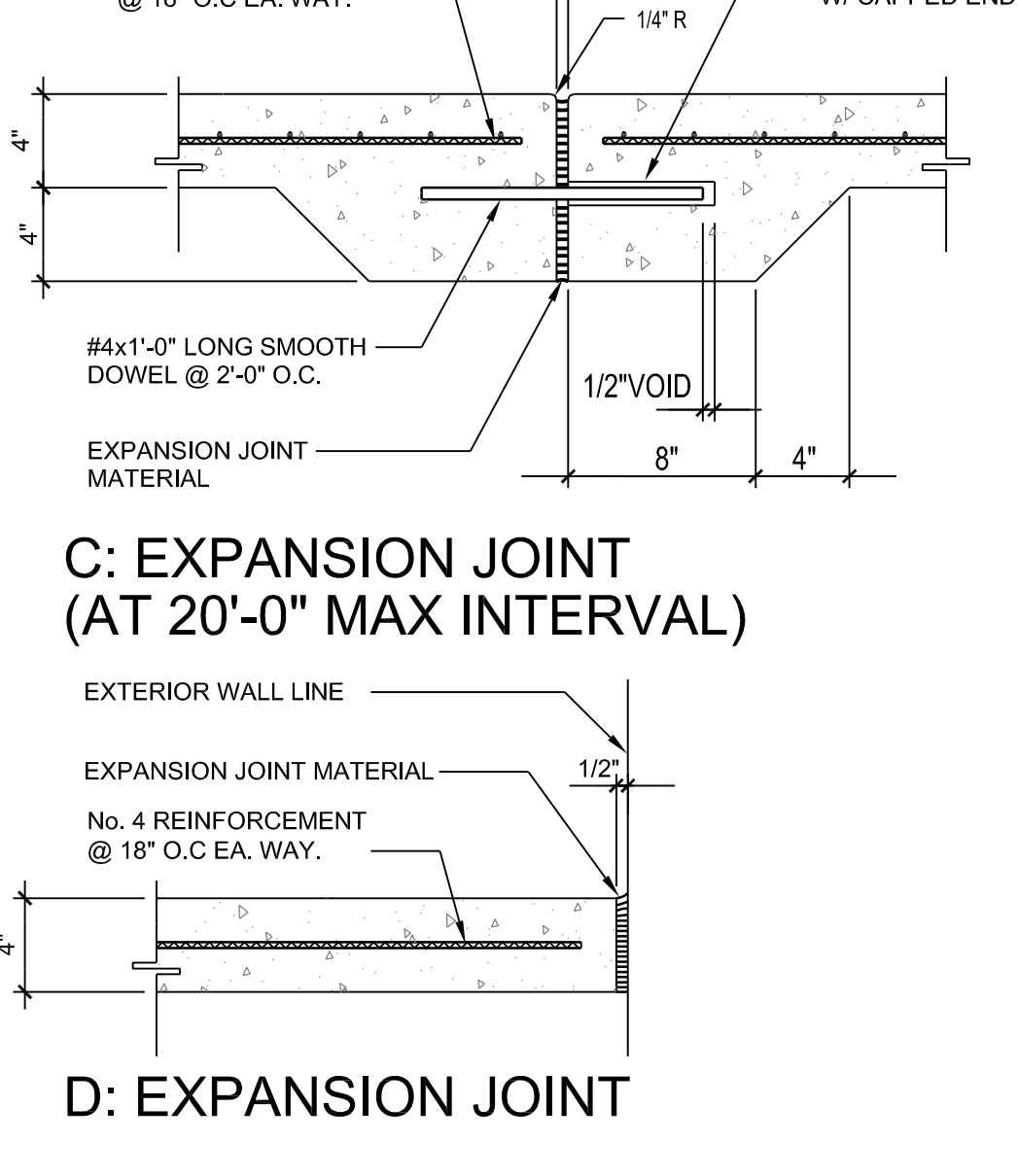
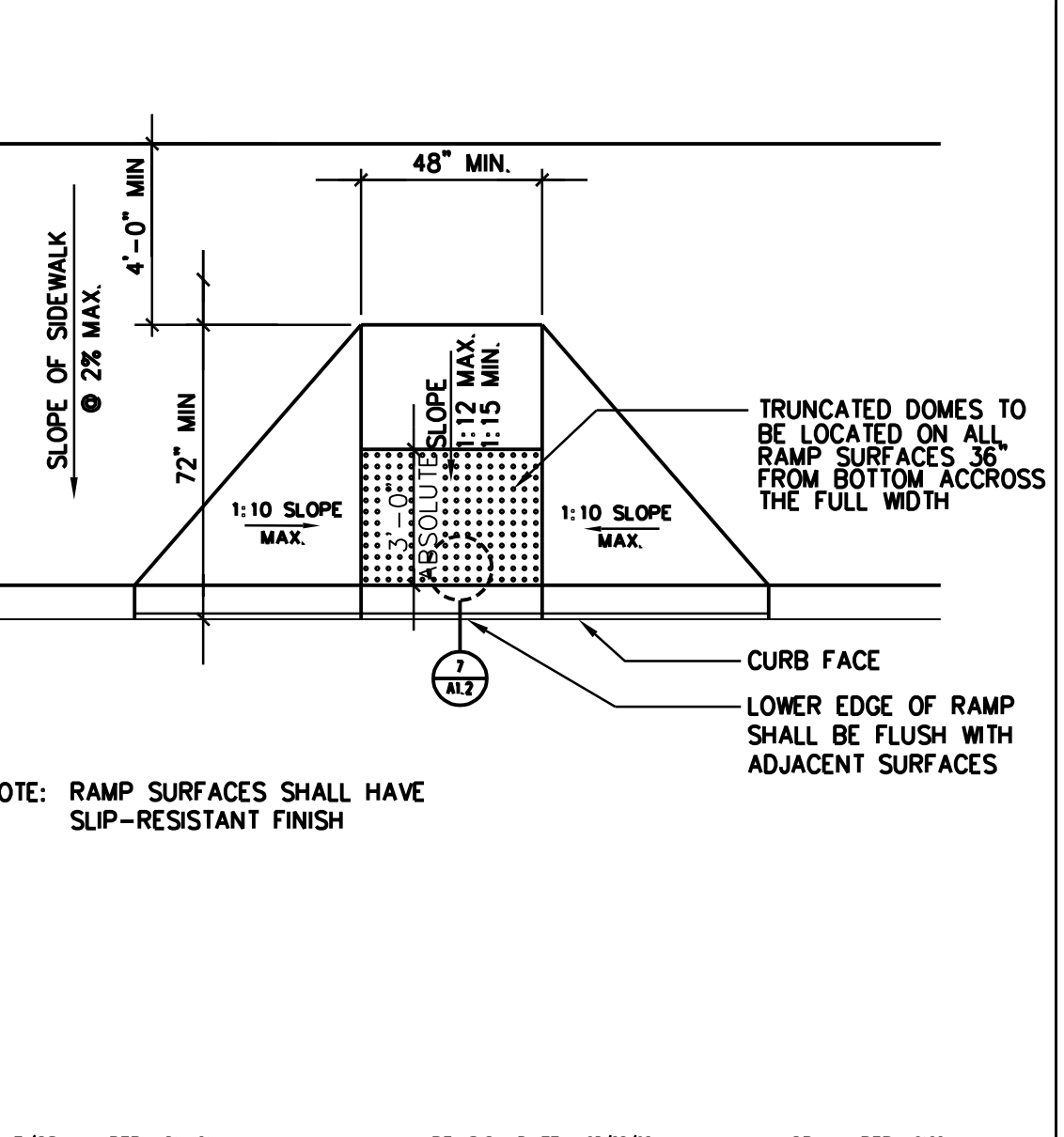
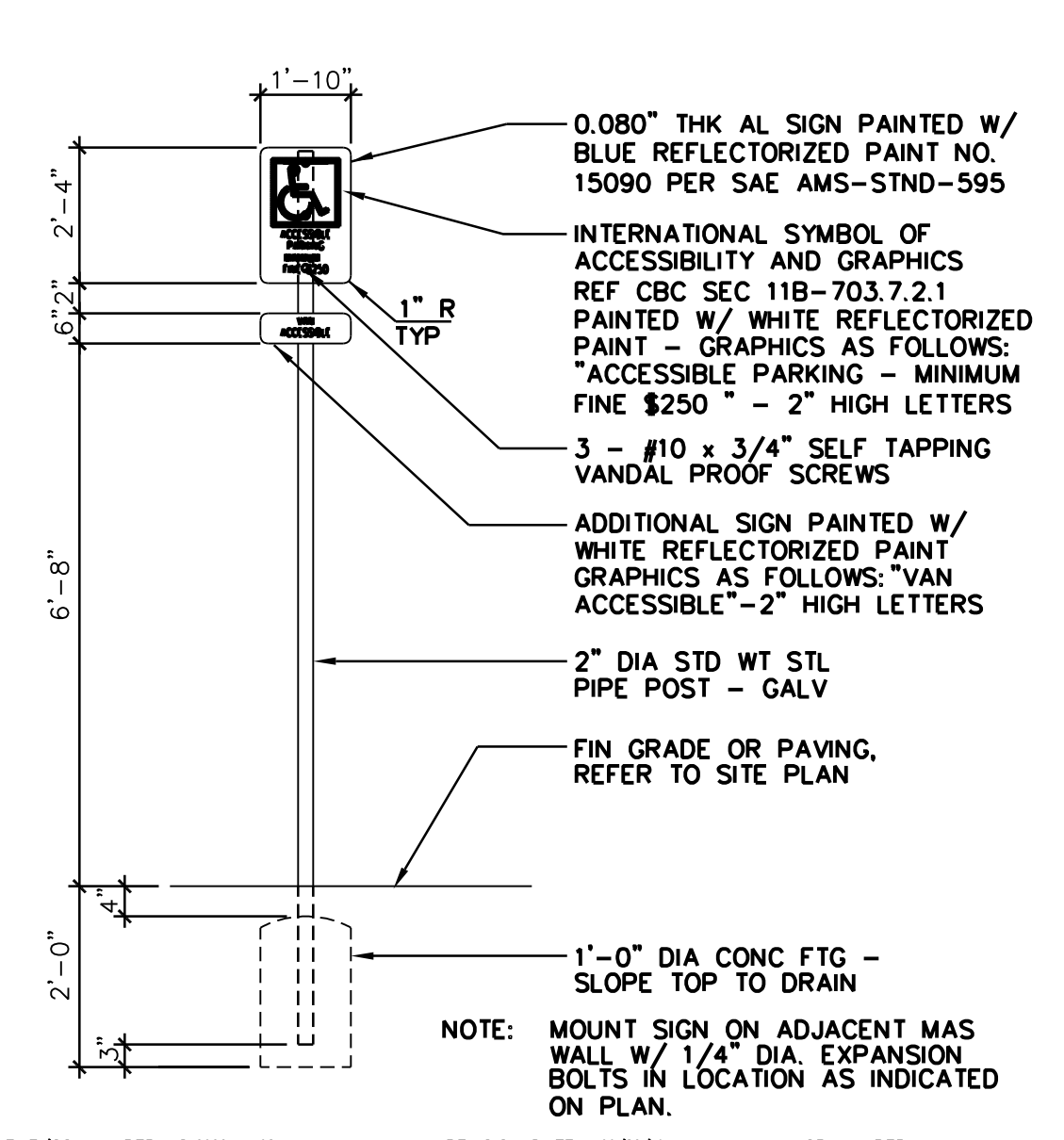
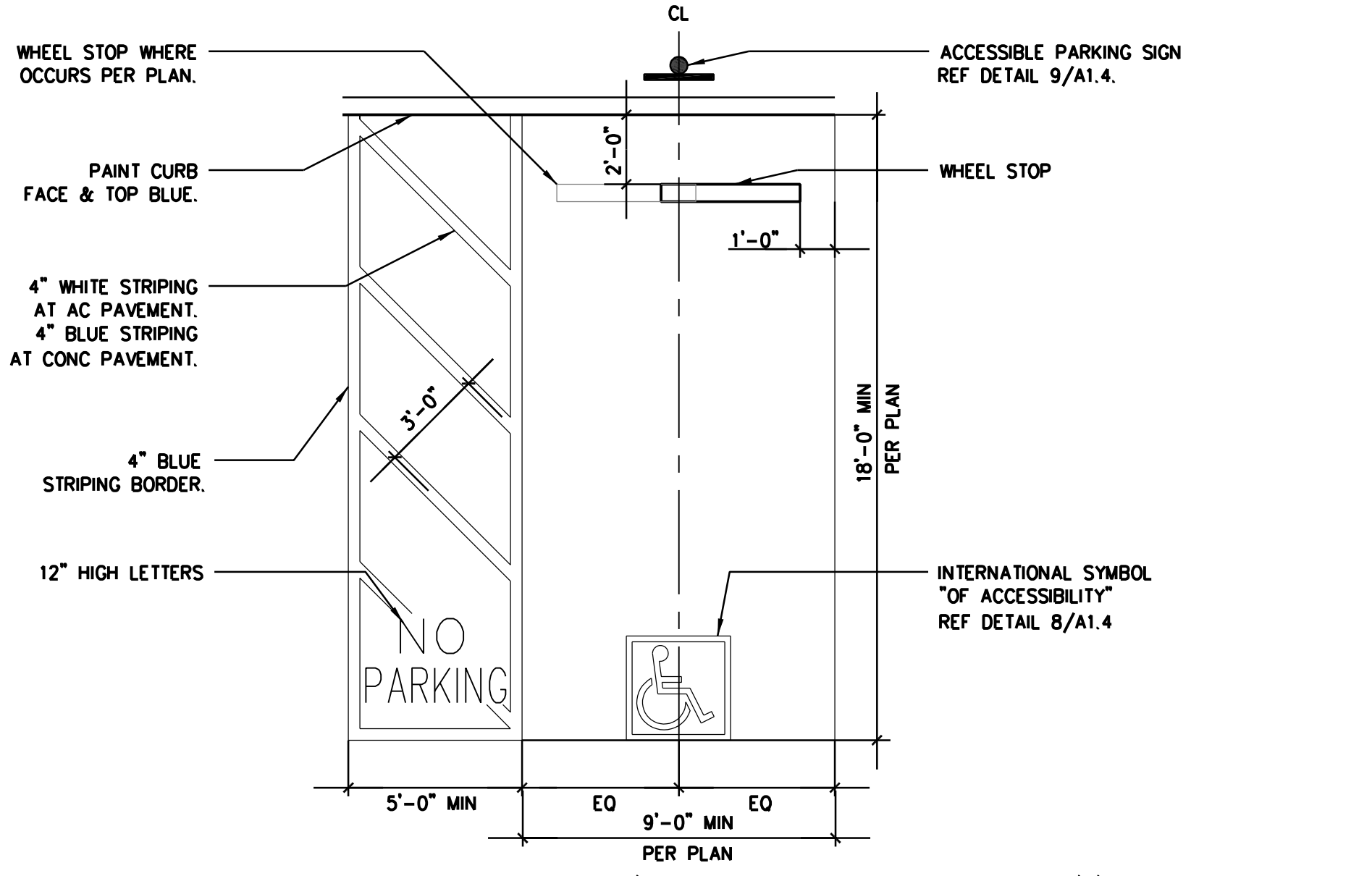


21

17 TRAFFIC ARROW 1/2"=1'-0"

13 PARKING SIGN 1/2"=1'-0"

5



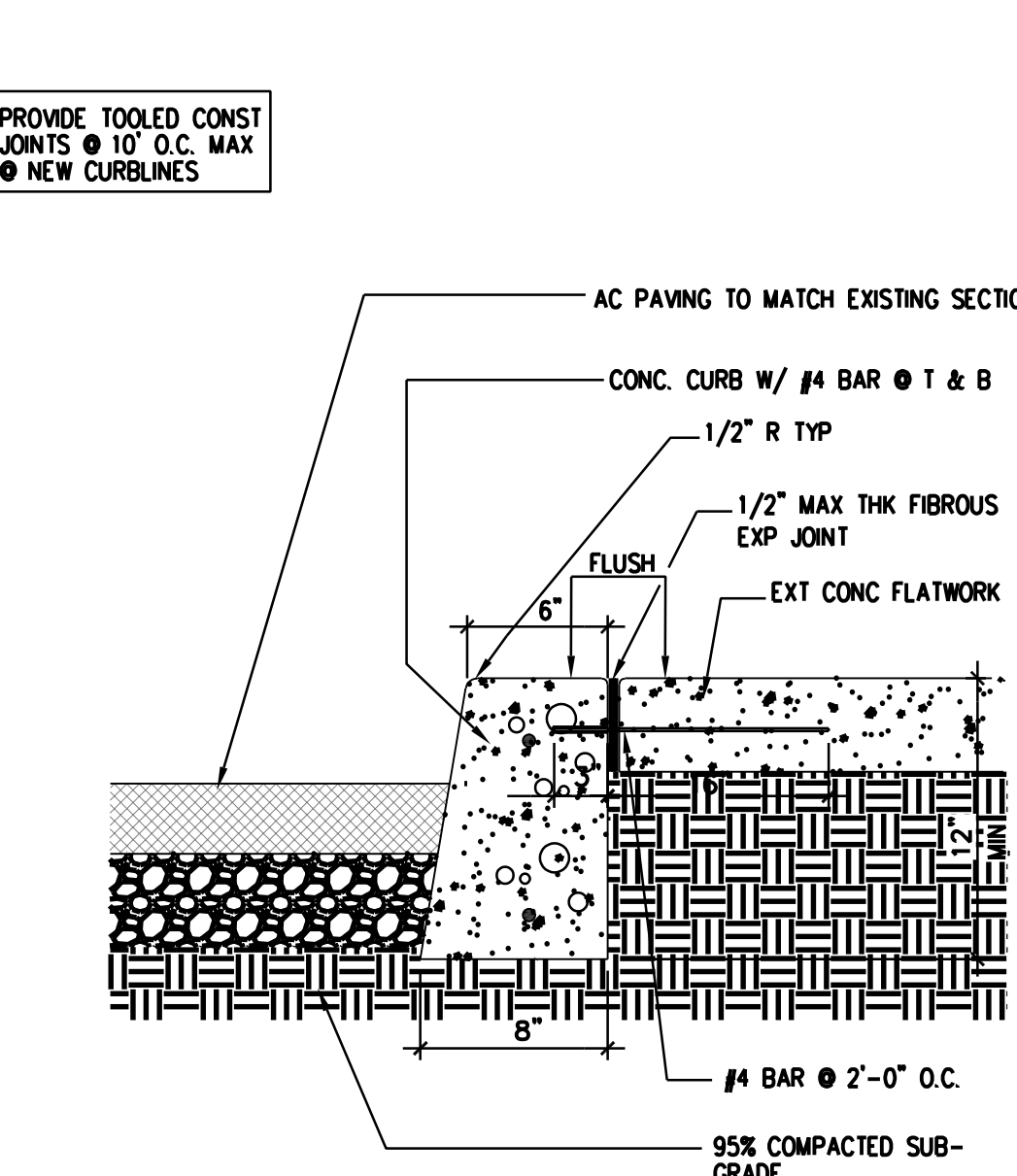
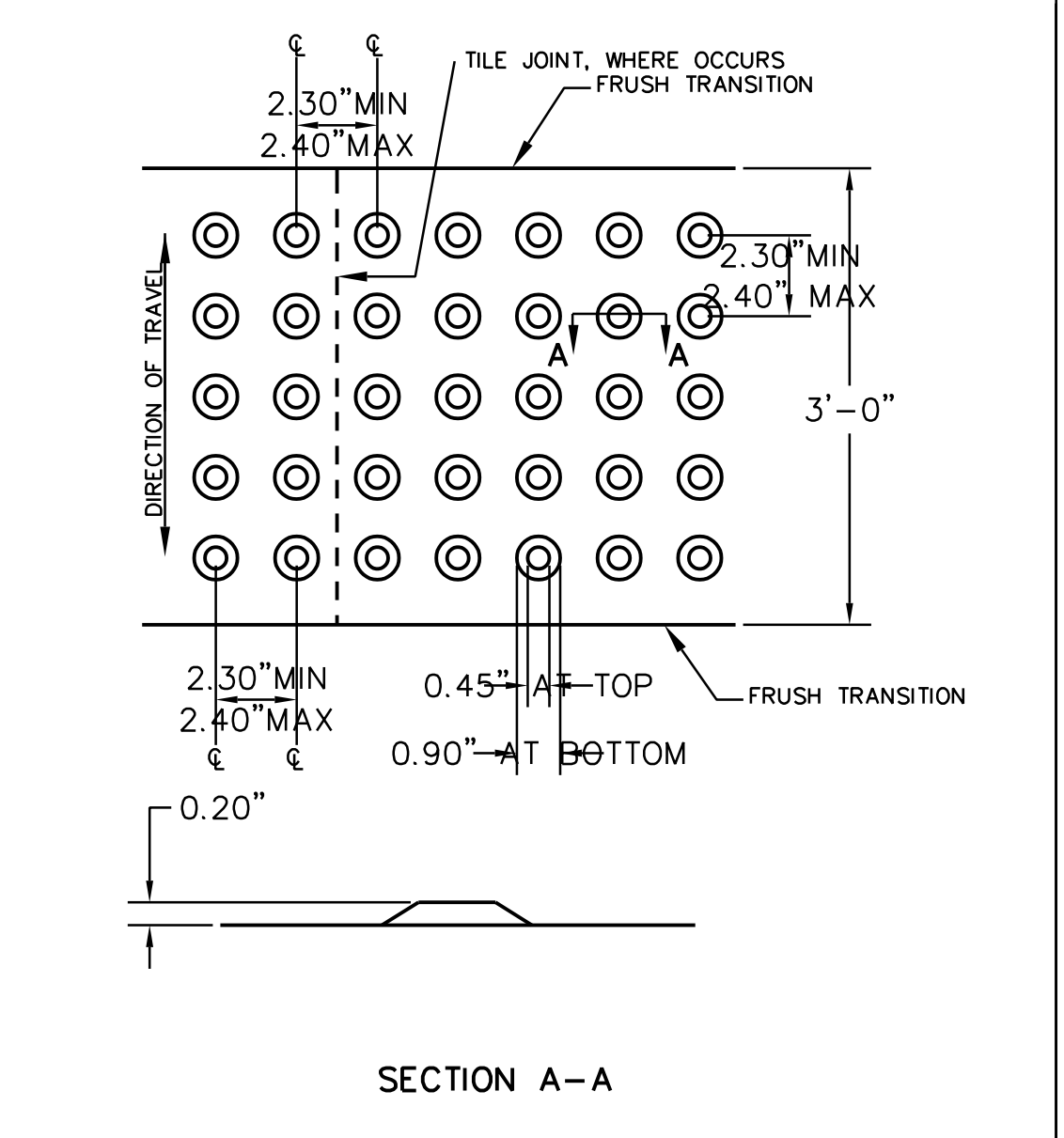
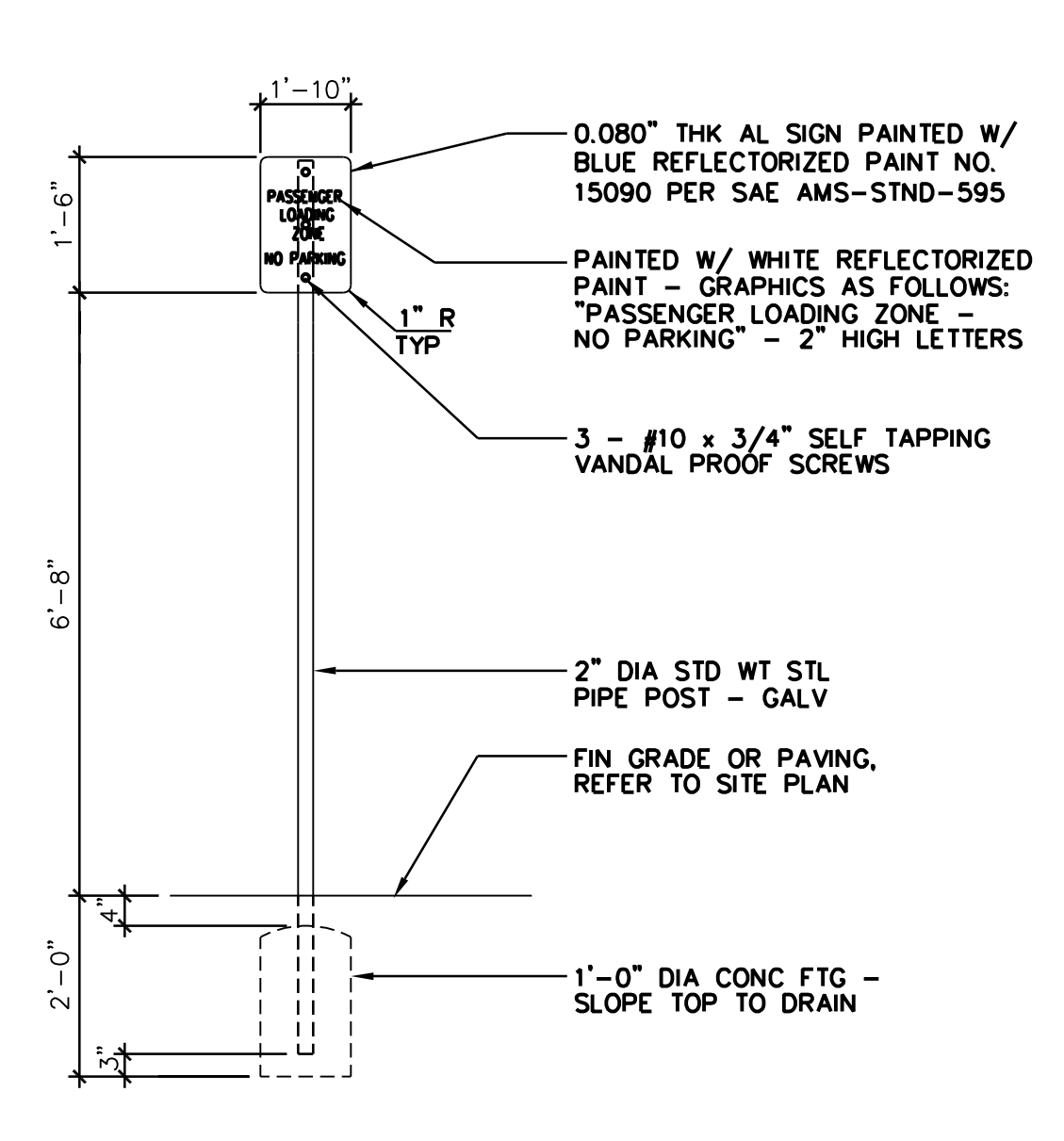
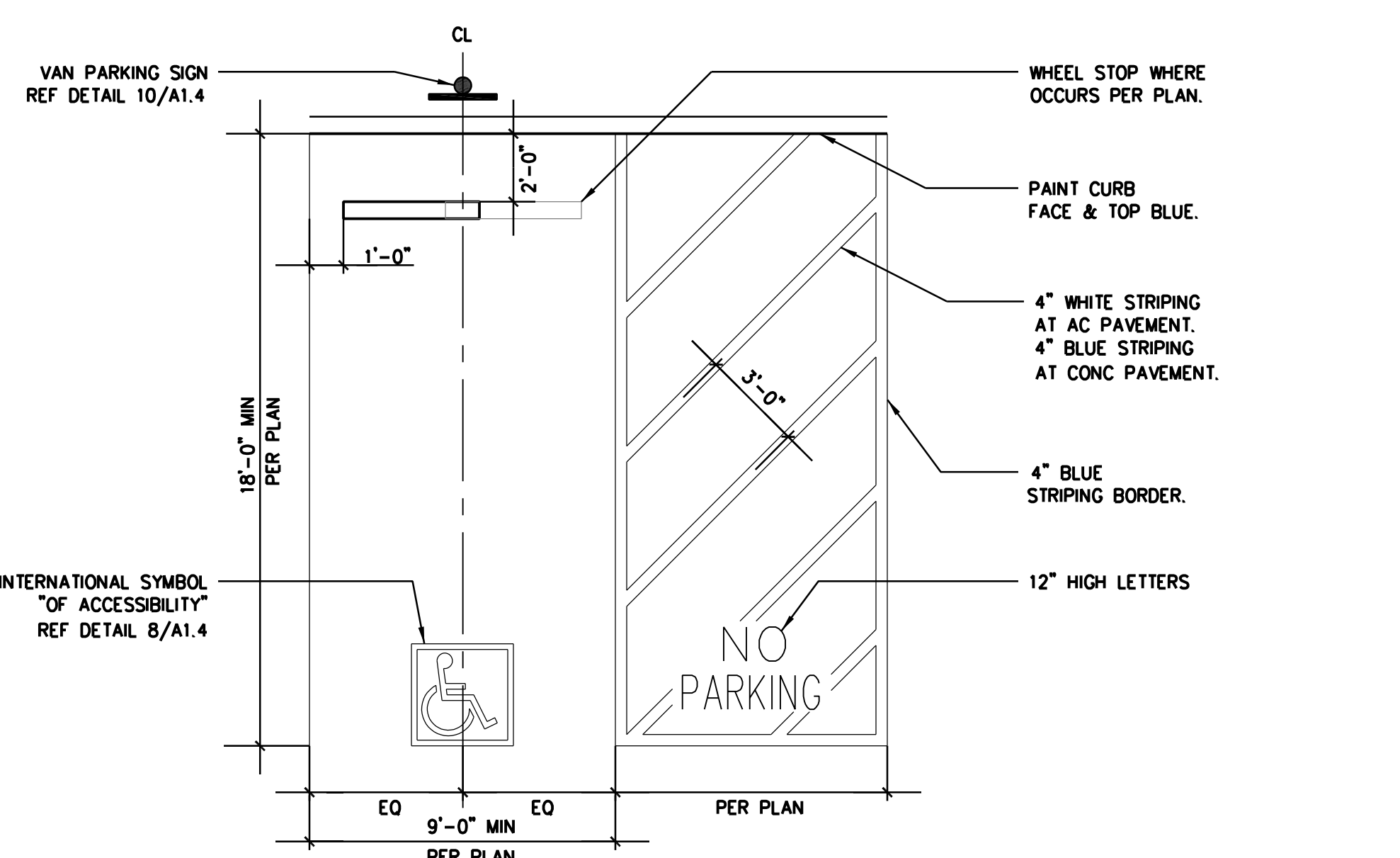
22

14 ACCESSIBLE PARKING 1/4"=1'-0"

10 PARKING SIGN 1/2"=1'-0"

6 CURB RAMP 1/4"=1'-0"

2 TYP CONCRETE PAVING 1 1/2"=1'-0"



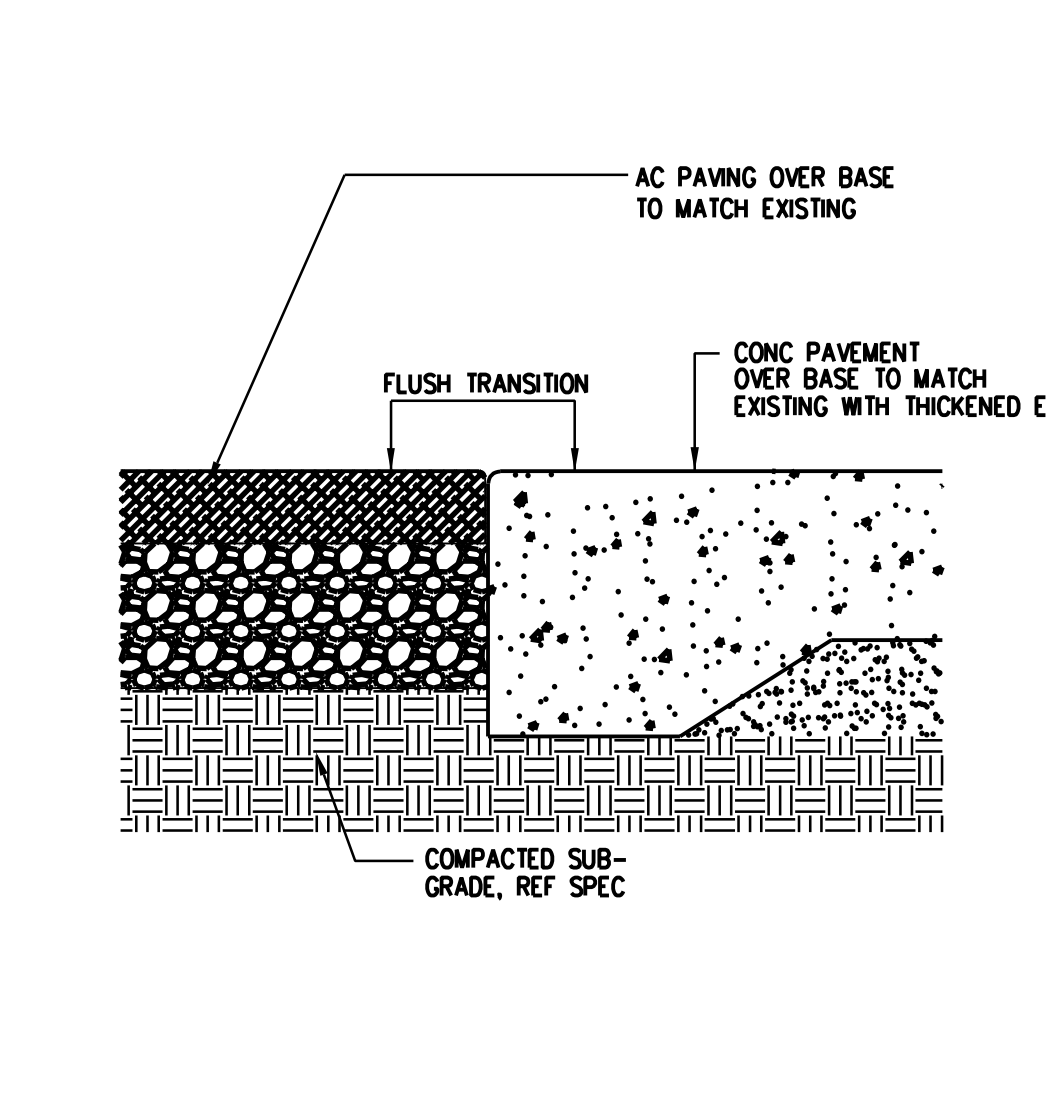
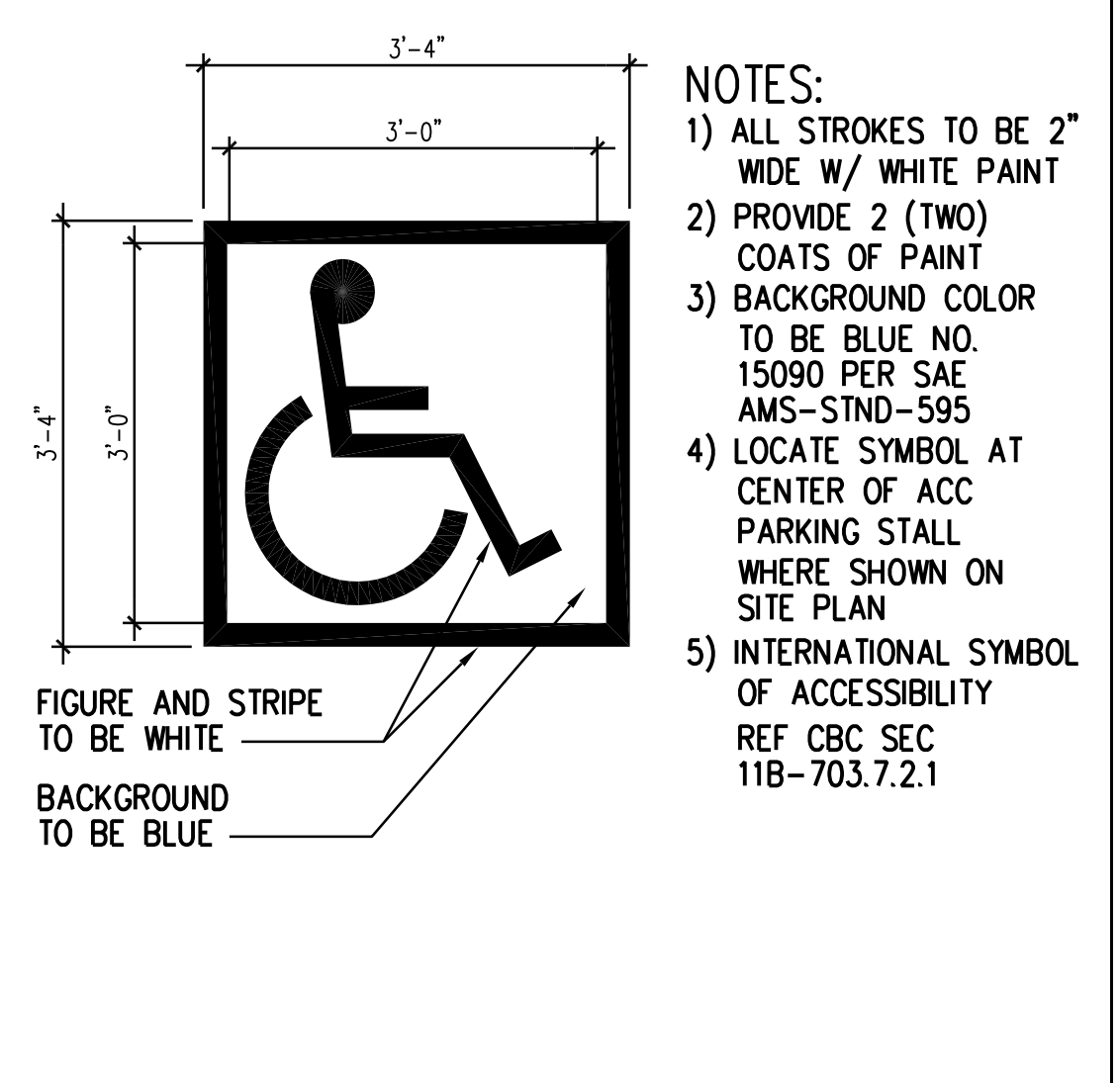
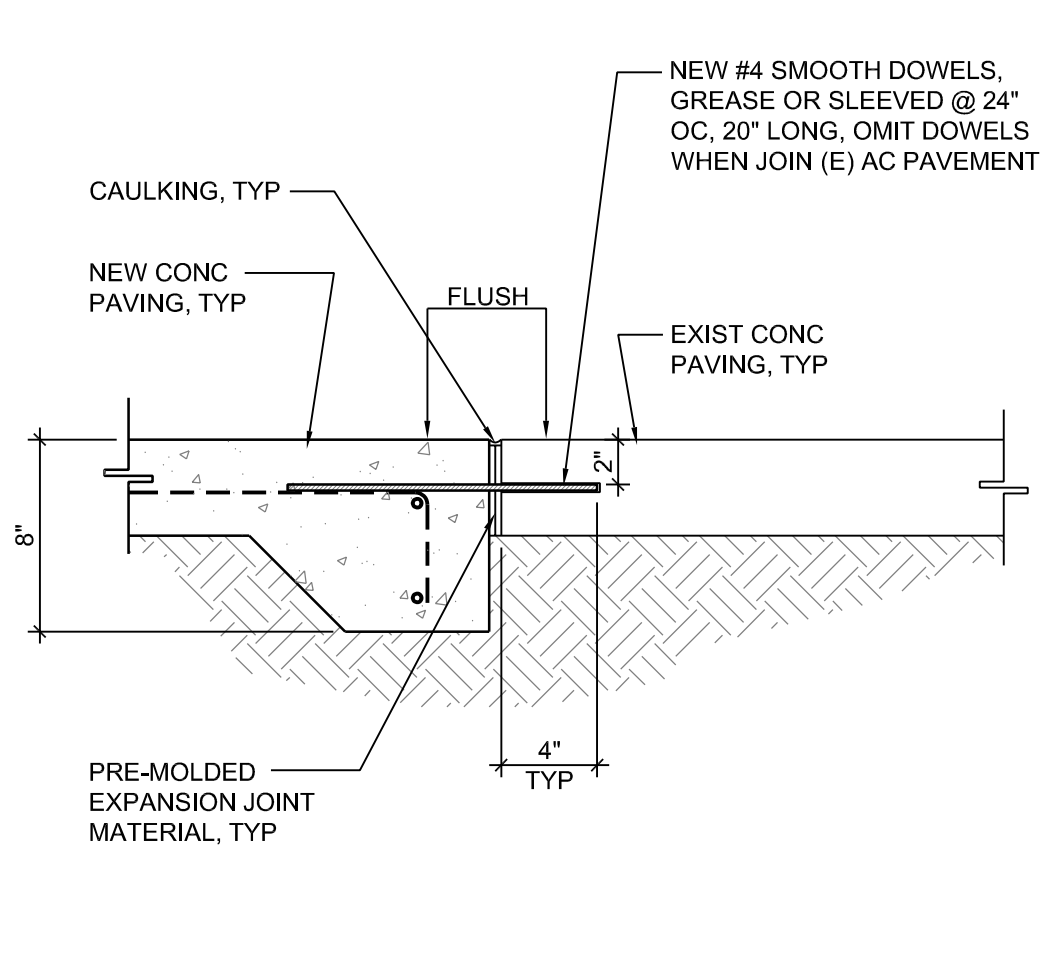
23

15 VAN ACCESSIBLE PARKING 1/4"=1'-0"

11 DROP-OFF SIGN 1/2"=1'-0"

7 TRUNCATED DOME DETAIL NTS

3 CONC CURB 1 1/2"=1'-0"



24

20 CONC PAVING JT W/ EXG CONC 1 1/2"=1'-0"

16

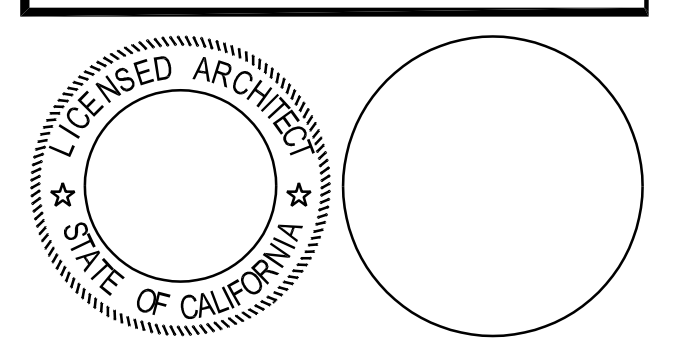
12 ACCESS SIGN 3/4"=1'-0"

4 PAVEMENT TRANSITION 1 1/2"=1'-0"



RANCHO CUCAMONGA
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909-987-0909 P

ENDEAVOUR SCHOOL OF EXPLORATION
 PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT
 12403 RIDGECREST RD.
 VICTORVILLE, CA 92395



CONSULTANT

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: WLC CHECKED: .
 DATE: 02/24/2023 SCALE: AS NOTED
 PROJECT NUMBER: 000000

DETAILS

DRAWING NUMBER: A1.3

GREEN TREE EAST LEADERSHIP ACADEMY PARKING LOT SLURRY SEAL AND PLAYGROUND RESURFACING

VICTOR ELEMENTARY SCHOOL DISTRICT

17246 GIBRALTER DR.

VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**GREEN TREE EAST LEADERSHIP ACADEMY
PARKING LOT SLURRY SEAL AND PLAYGROUND UPGRADE**
VICTOR ELEMENTARY SCHOOL DISTRICT
17246 GIBRALTER DR.
VICTORVILLE, CA 92395

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT : 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.
- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.1	ENLARGED SITE PLAN
A1.2	ENLARGED SITE PLAN
A1.3	ENLARGED SITE PLAN
A1.4	DETAILS
TOTAL NUMBER OF SHEETS: 5	

PROJECT TEAM

PROJECT ADDRESS
GREEN TREE EAST LEADERSHIP ACADEMY
17246 GIBRALTER DR.,
VICTORVILLE, CA 92395
PHONE: 760-955-7800

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

REVISION
3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

CENTER LINES, FLOOR LINES AND LEVEL LINES
SECTION LINES
PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

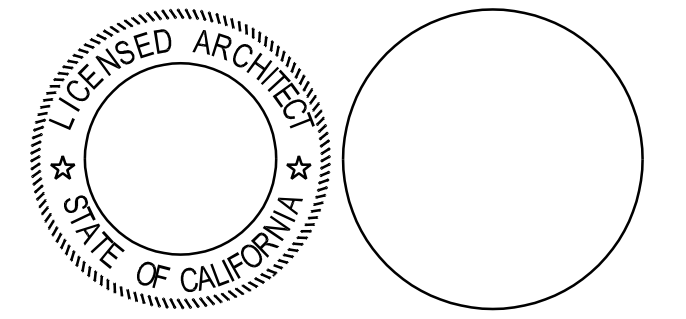
THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, PLAYGROUND RESURFACING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP

PROJECT ADDRESS:
17246, GIBRALTER DR., CA 92395

PROJECT SITE



CONSULTANT			

NO	DATE	BY	DESCRIPTION
1	5/1/2023	PBK	ADDENDUM 01

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

GENERAL NOTES & PROJECT DIRECTORY

DRAWING NUMBER: A0.1

TOTAL PARKING SPACES = 61	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 4	STANDARD	ACCESSIBLE		61
		STANDARD	VAN	
	57	3	1	

PARK CALCULATION

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

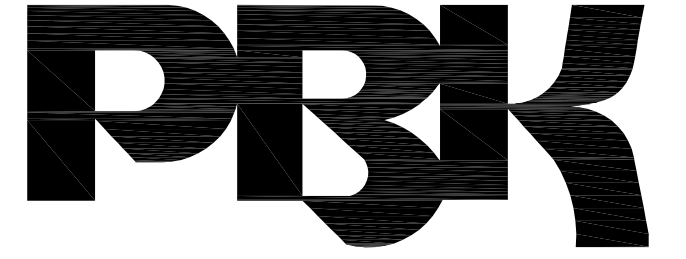
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

- - - - - (E) P.O.T.
- - - - - (N) P.O.T.

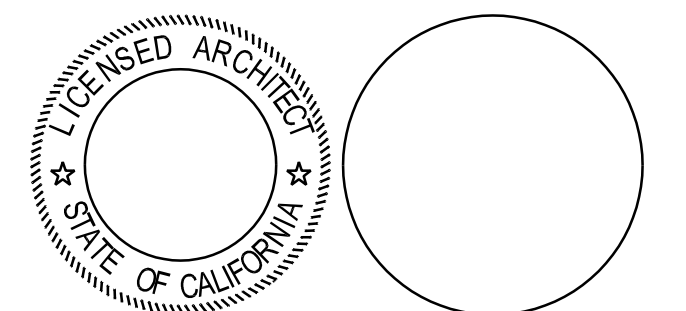
PATH OF TRAVEL

- CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK.
- AREA OF SLURRY COAT, STRIPING, & PAVEMENT
- (E) FIRE LANE 20'-0" MIN CLR
- (E) LANDSCAPE



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8163 ROCHESTER AVENUE, SUITE 100
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909-987-0909 P

**GREEN TREE EAST LEADERSHIP ACADEMY
PARKING LOT SLURRY SEAL AND PLAYGROUND RESURFACING**
VICTOR ELEMENTARY SCHOOL DISTRICT
17246 GIBRALTER DR.
VICTORVILLE, CA 92395



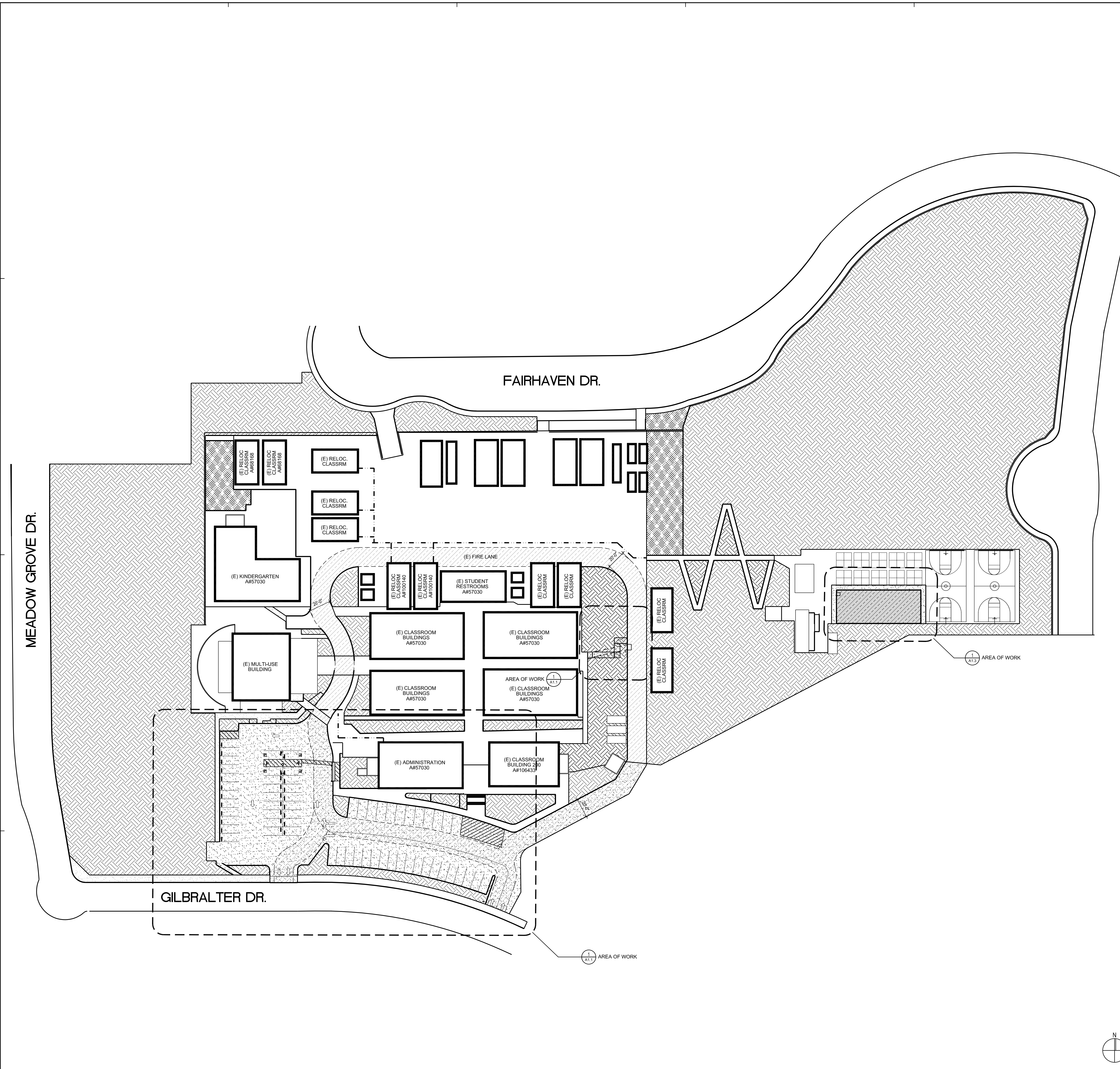
CONSULTANT

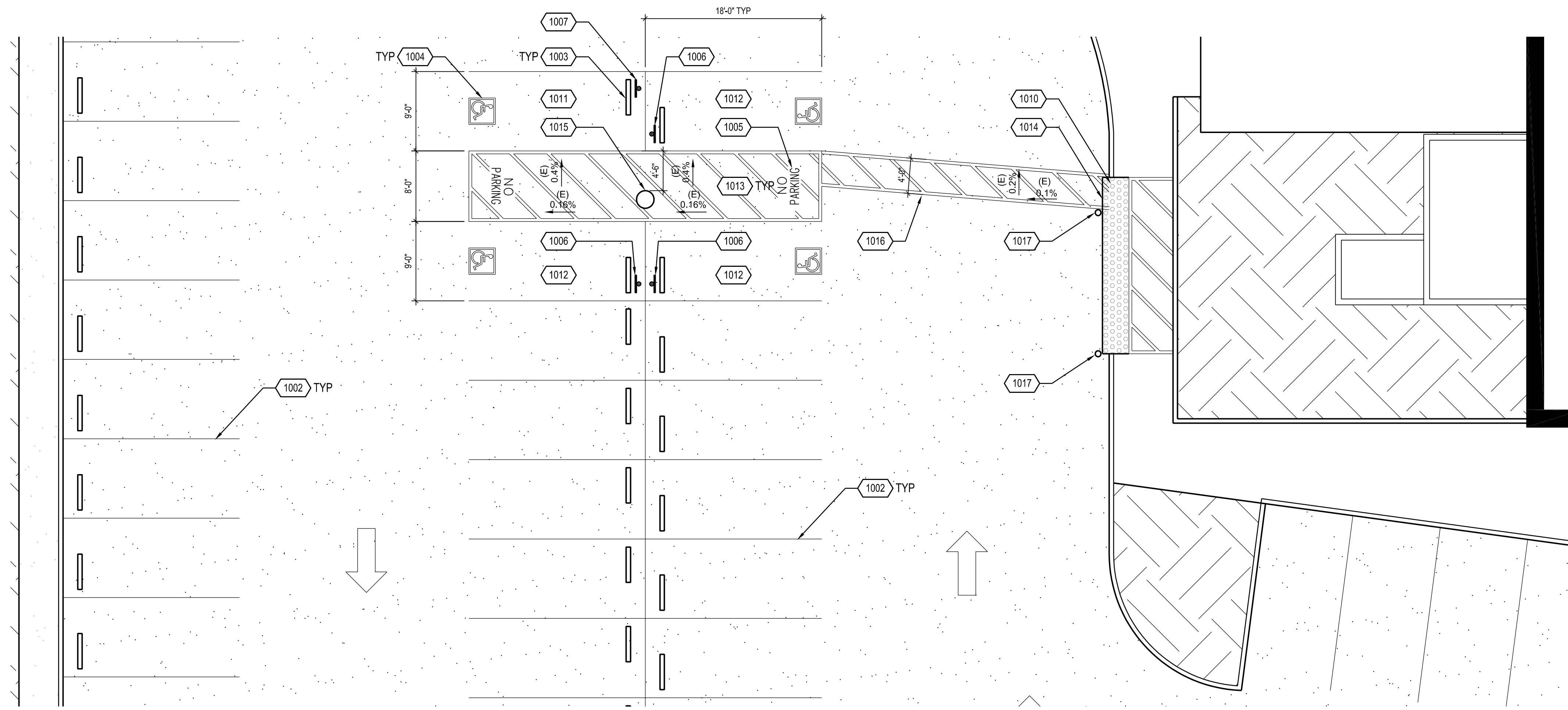
1	5/1/2023	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

OVERALL SITE PLAN

DRAWING NUMBER: **A1.0**

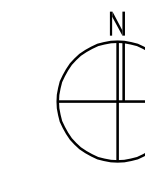




AREA OF SLURRY COAT, STRIPING, & PAVEMENT

SITE LEGEND

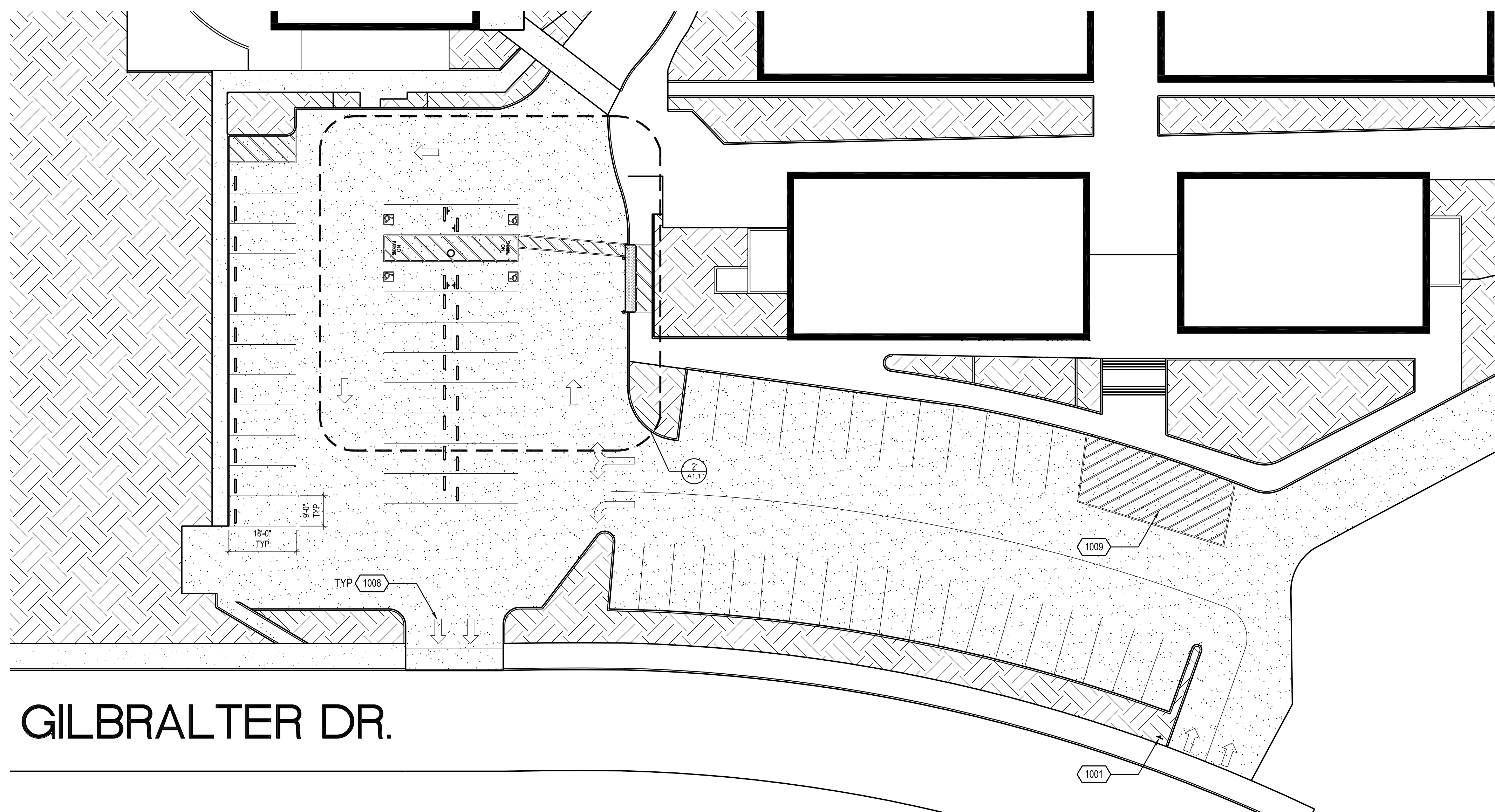
- 1001 TOW-AWAY SIGN, REF DETAIL 12/A1.2
- 1002 4" WIDE WHITE PAVEMENT STRIPING.
- 1003 (E) WHEEL STOP, RELOCATE AS REQUIRED.
- 1004 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.4
- 1005 12" H PAINTED WHITE TEXT.
- 1006 ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.4
- 1007 VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.4
- 1008 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.4
- 1009 4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
- 1010 (E) TRUNCATED DOMES.
- 1011 VAN ACCESSIBLE PARKING, REF DETAIL 15/A1.4
- 1012 ACCESSIBLE PARKING, REF DETAIL 14/A1.4
- 1013 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
- 1014 FLUSH TRANSITION, REF DETAIL 4/A1.4
- 1015 (E) PARKING LOT LIGHT POLE TO BE PROTECTED IN PLACE.
- 1016 4" WIDE BLUE PAVEMENT STRIPING.
- 1017 (E) BOLLARD TO PROTECT IN PLACE.



ENLARGED ACCESSIBLE PARKING - STAFF PARKING LOT

1/8" = 1'-0"

2



GILBRALTER DR.



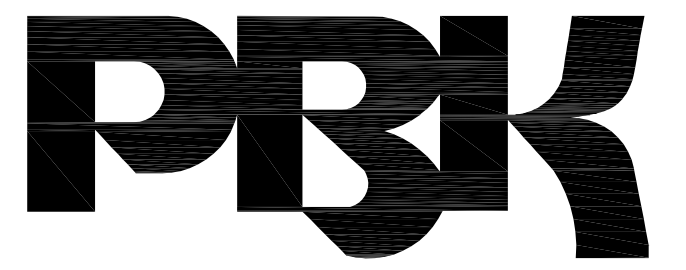
ENLARGED SITE PLAN - STAFF PARKING LOT

1" = 20'-0"

1

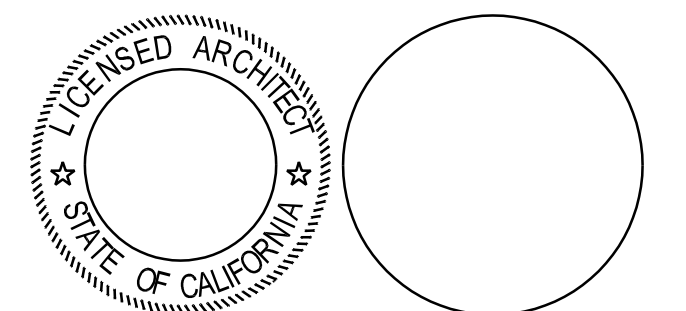
GENERAL NOTES

- REFERENCE NOTES**
1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.



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**GREEN TREE EAST LEADERSHIP ACADEMY
PARKING LOT SLURRY SEAL AND PLAYGROUND RESURFACING**
VICTOR ELEMENTARY SCHOOL DISTRICT
17246 GIBRALTER DR.
VICTORVILLE, CA 92395



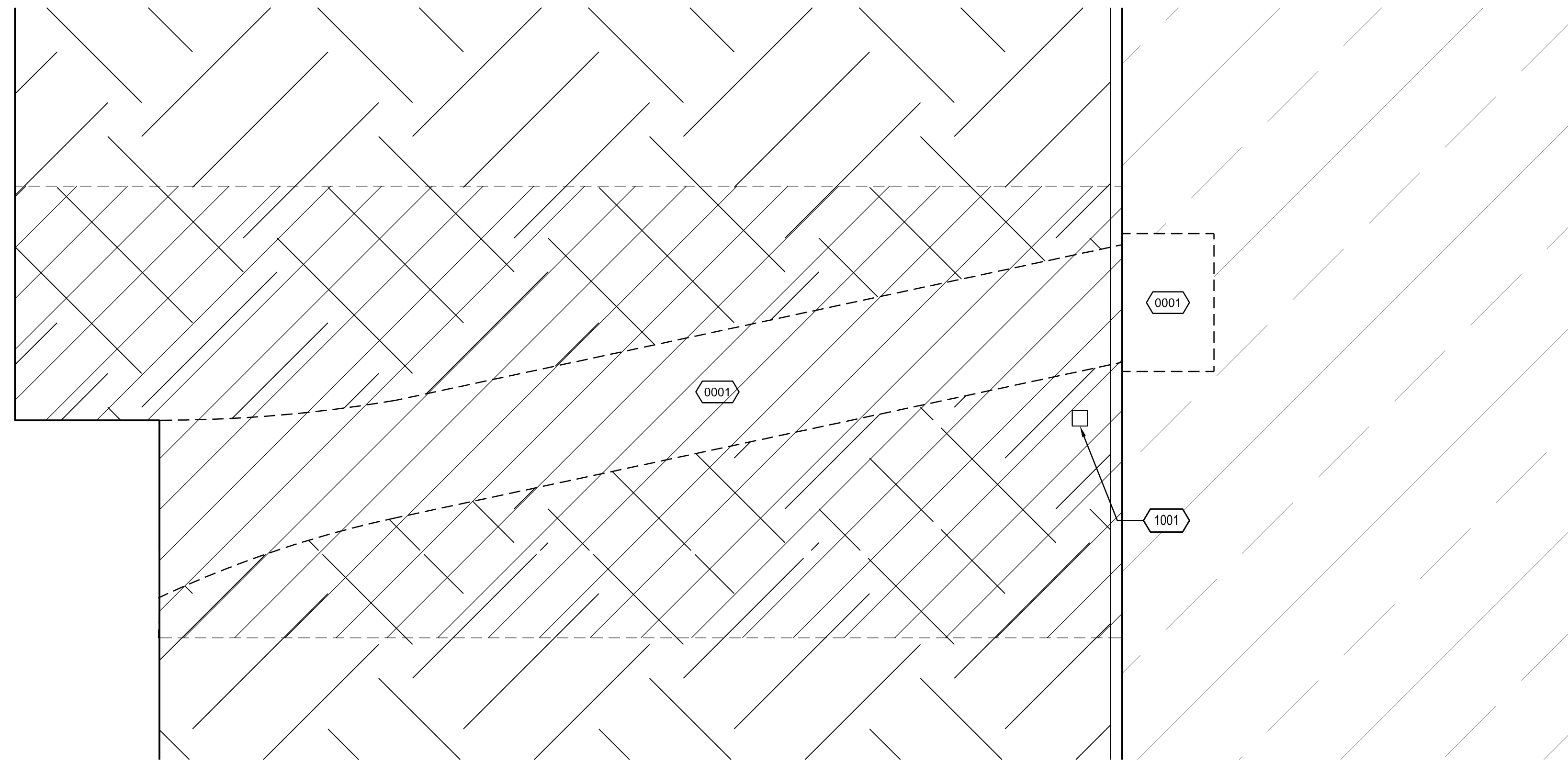
CONSULTANT

NO	DATE	BY	DESCRIPTION
1	5/1/2023	PBK	ADDENDUM 01
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

**ENLARGED
SITE PLAN**

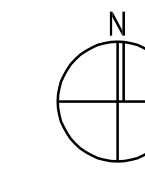
DRAWING NUMBER: **A1.1**



- 0001 DEMO EXISTING ASPHALT
- 1001 EXISTING LIGHT POLE TO BE PROTECTED IN PLACE

DEMO LEGEND

- CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK.
- AREA OF DEMOLITION



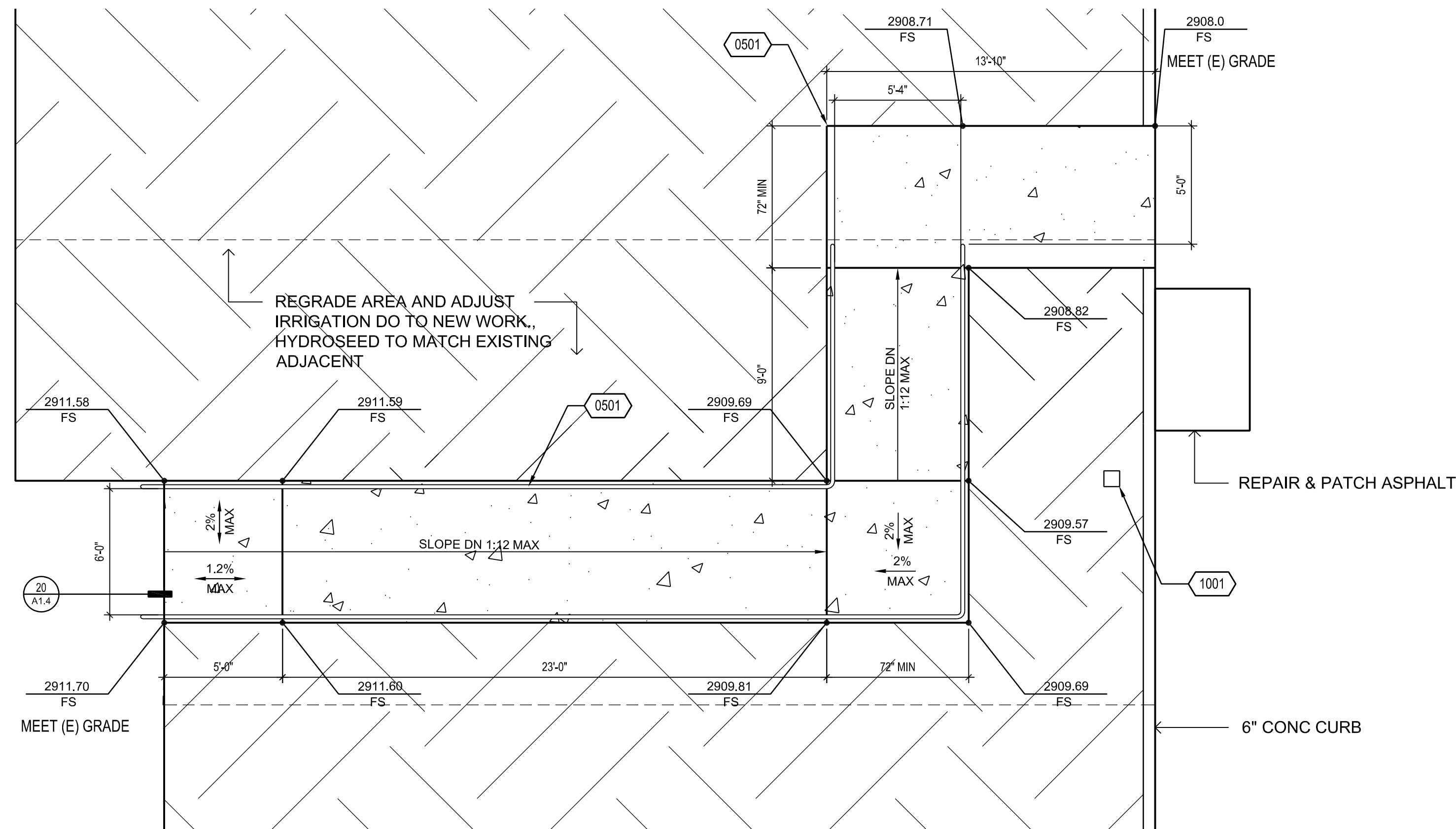
ENLARGED SITE PLAN - DEMO

1/8" = 1'-0"

2

SITE LEGEND

- 0501 1 1/2" DIA GALV HANDRAIL, REF DET 21/A1.4
- 1001 EXISTING LIGHT POLE TO BE PROTECTED IN PLACE

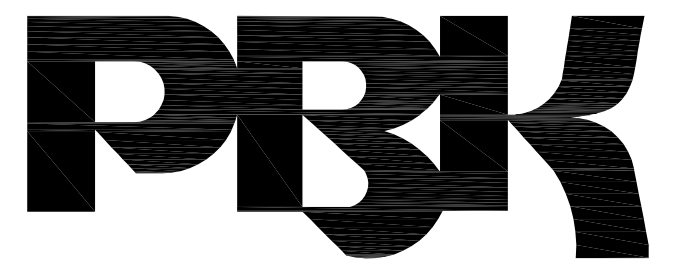


ENLARGED SITE PLAN

1/8" = 1'-0"

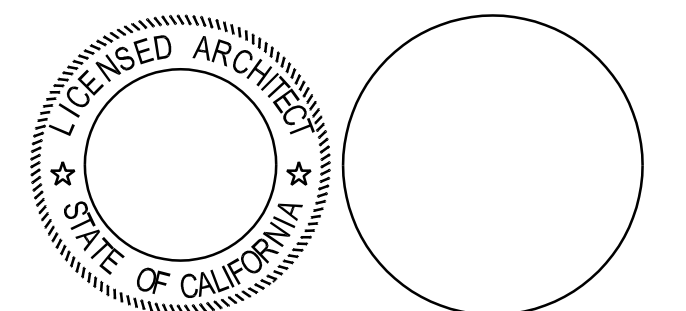
1

REFERENCE NOTES



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 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

**GREEN TREE EAST LEADERSHIP ACADEMY
 PARKING LOT SLURRY SEAL AND PLAYGROUND RESURFACING**
 VICTOR ELEMENTARY SCHOOL DISTRICT
 17246 GIBRALTER DR.
 VICTORVILLE, CA 92395



CONSULTANT

1	5/1/2023	PRK	ADDENDUM 01

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

ENLARGED
SITE PLAN

DRAWING NUMBER: **A1.2**

GENERAL:

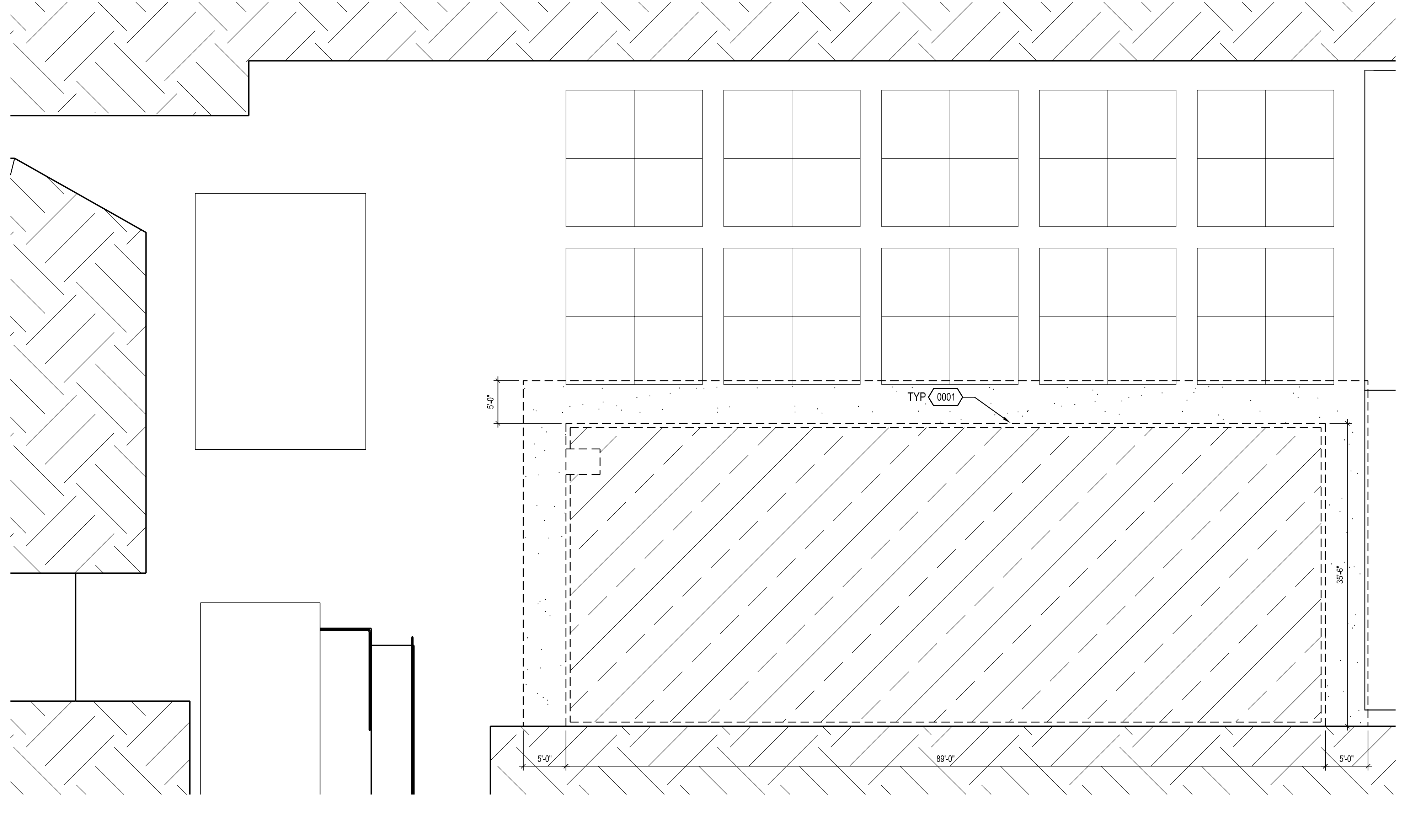
UNLESS NOTED OTHERWISE, REMOVE ANY ITEM INCLUDING BUT NOT LIMITED TO STRUCTURE, HARDSCAPE, LANDSCAPE, RETAINING WALL, BOLLARDS, HANDRAILS, CURBS, PARKING LOT LIGHTS ETC. FOR THE EXECUTION OF THE NEW PLAN. PROTECT ALL ADJACENT STRUCTURE, HARDSCAPE, LANDSCAPE AND ITEMS DURING CONSTRUCTION OR REPLACE WHEN DAMAGED.

ADDITIONAL SCOPE OF WORK MAY BE REQUIRED BY OTHER DISCIPLINES. REFER TO OTHER DISCIPLINES DRAWINGS. SOME SITE CONDITIONS ARE NOT INDICATED IN THIS PLAN. ALL BIDDERS ARE REQUIRED TO VISIT THE SITE PRIOR TO BID. ENSURE THAT ALL EXISTING UTILITY AND IRRIGATION SYSTEM REMAIN IN WORKING CONDITION DURING AND AT THE END OF CONSTRUCTION.

1. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE ORDINANCES, REGULATIONS AND APPLICABLE CODES OF THE CITY OF MENEFEE AS APPLICABLE AND WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND BUILDING AND SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS (WHICH ARE TO REMAIN IN PLACE) RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS WHETHER OR NOT THOSE EXISTING IMPROVEMENTS ARE INDICATED ON THIS PLAN.
3. IF ANY UNKNOWN SUB-SURFACE STRUCTURE IS ENCOUNTERED DURING DEMOLITION, IT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, THE SUPERVISING CIVIL ENGINEER AND THE PROJECT ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
4. DUST SHALL BE CONTROLLED BY WATERING.
5. PRIOR TO COMMENCING ANY DEMOLITION WORK, THE CONTRACTOR SHALL MAKE PROVISIONS FOR AN ADEQUATE AND CONTINUOUS SOURCE OF WATER DURING DEMOLITION AND CONSTRUCTION.
6. THE REMOVAL OF HAZARDOUS MATERIALS IS NOT COVERED BY THESE PLANS. IN THE EVENT THAT SOIL CONTAMINATED WITH HAZARDOUS MATERIALS OR ABANDONED UNDERGROUND STORAGE TANK IS DISCOVERED, DEMOLITION WORK SHALL BE STOPPED UNTIL A SITE ASSESSMENT AND SEPARATE MITIGATION PLANS HAVE BEEN PREPARED BY OTHERS AND APPROVED BY THE OWNER, CITY OF MENEFEE OR AS APPLICABLE, COUNTY OF RIVERSIDE AND OTHER INVOLVED GOVERNING AGENCIES.
7. THE LOCATION AND PROTECTION OF ALL UTILITIES AND SURVEY MONUMENTS OF EVERY NATURE, WHETHER OR NOT INDICATED ON THESE PLANS, ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BEAR THE TOTAL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES AND SURVEY MONUMENTS THAT HAVE BEEN DAMAGED OR DESTROYED DURING DEMOLITION.
8. ALL ON-SITE IMPROVEMENTS WHICH ARE TO BE REMOVED OFF-SITE SHALL BE PROPERLY HANDLED AND DISPOSED OF IN COMPLIANCE WITH CITY OF MENEFEE AS APPLICABLE, COUNTY OF RIVERSIDE, STATE AND FEDERAL, GUIDELINES AND REGULATIONS.
9. THE CONTRACTOR SHALL CONTACT THE UNDERGROUND SERVICE ALERT, 48-HOURS IN ADVANCE OF THE COMMENCEMENT OF CONSTRUCTION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES INDICATED AND ANY OTHER LINES OF RECORD NOT INDICATED ON THESE PLANS.
10. ADEQUATE BARRICADES, LIGHTS, FLAGMEN, SIGNS AND OTHER SAFETY DEVICES SHALL BE PROVIDED AS SPECIFIED IN THE TRAFFIC MANUAL PUBLISHED BY THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION LATEST REVISION AND AS SPECIFIED BY THE OWNER.
11. EXISTING STUDENT HARDSCAPE AND WORK AREAS SHALL BE KEPT CLEAN OF ALL MATERIALS RESULTING FROM THE DEMOLITION OPERATIONS. THE STUDENT HARDSCAPE AND WORK AREAS SHALL BE CLEANED DAILY AS NECESSARY TO MAINTAIN SAFE ENVIRONMENT AT ALL TIMES.
12. ANY MODIFICATIONS OF OR CHANGES IN DEMOLITION PLANS MUST BE APPROVED BY THE OWNER AND THE ARCHITECT.
13. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION OPERATIONS AS DIRECTED BY THE OWNER OR GOVERNING AUTHORITIES. RETURN ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF WORK.
14. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS OR PERMISSION AND UTILITY DISCONNECTION PERMITS FROM THE CITY OF MENEFEE OR AS APPLICABLE, AND UTILITY COMPANIES.
15. ALL UNUSED UTILITIES, SEWER, WATER, GAS, TELEPHONE AND ELECTRIC SERVICES SHALL BE DISCONNECTED AND CAPPED UNDERGROUND UNLESS NOTED OTHERWISE.
16. ALL UTILITIES, SEWER, WATER, GAS, TELEPHONE AND ELECTRIC SERVICES TO BE DISCONNECTED AND CAPPED SHALL BE ACCORDING TO OWNER, CITY OF MENEFEE OR AS APPLICABLE AND UTILITY COMPANY REQUIREMENTS, UNLESS OTHERWISE NOTED.
17. DO NOT INTERRUPT ANY SERVICES OR DISRUPT THE ACTIVITIES OF THE EXISTING FACILITIES OUTSIDE OF THE DEMOLITION LIMITS.
18. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM THE DEMOLITION AND SITE CLEARING OPERATIONS FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER.
19. NOT USED
20. ADJUST EXISTING VAULT BOXES, CATCH BASINS, CONTROL BOX TO NEW GRADE AS NECESSARY DUE TO NEW WORK.

EXISTING OR NEW ITEMS SHOWN ON THE ARCHITECTURAL DRAWINGS WHICH ARE INDICATED DIFFERENTLY ON ANY OF THE CONSULTING ENGINEERING DRAWINGS OR AS OCCURS IN THE FIELD SHALL IMMEDIATELY BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK IN QUESTION.

NOT PART OF THIS BID



10001 DEMO 6" CONCRETE CURB.

DEMO LEGEND

- RESILIENT PLAY SURFACING AREA.
- ASPHALT PAVING TO MATCH EXISTING SECTION ADJACENT

ENLARGED DEMO SITE PLAN - PLAYGROUND 1" = 20'-0" 1

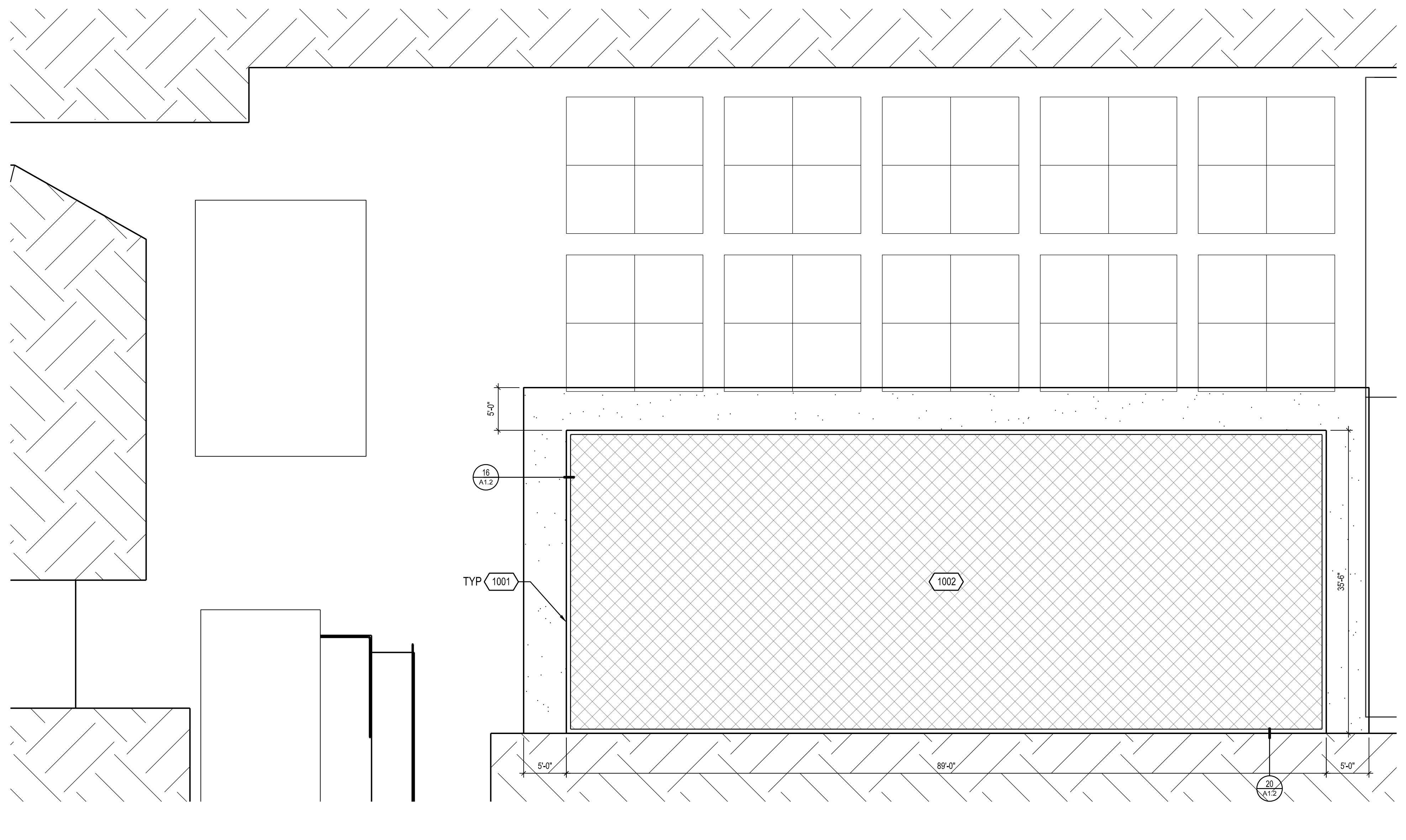
SITE LEGEND

- 10001 NEW 6" X 18" CONCRETE CURB
- 10002 NEW RESILIENT PLAY SURFACING AREA

REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.

NOT PART OF THIS BID



GENERAL DEMO NOTES

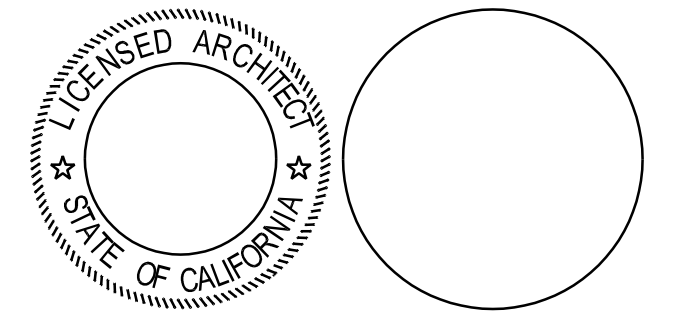
ENLARGED SITE PLAN - PLAYGROUND 1" = 20'-0" 1

GENERAL NOTES



RANCHO CUCAMONGA
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**GREEN TREE EAST LEADERSHIP ACADEMY
PARKING LOT SLURRY SEAL AND PLAYGROUND RESURFACING**
VICTOR ELEMENTARY SCHOOL DISTRICT
17246 GIBRALTER DR.
VICTORVILLE, CA 92395



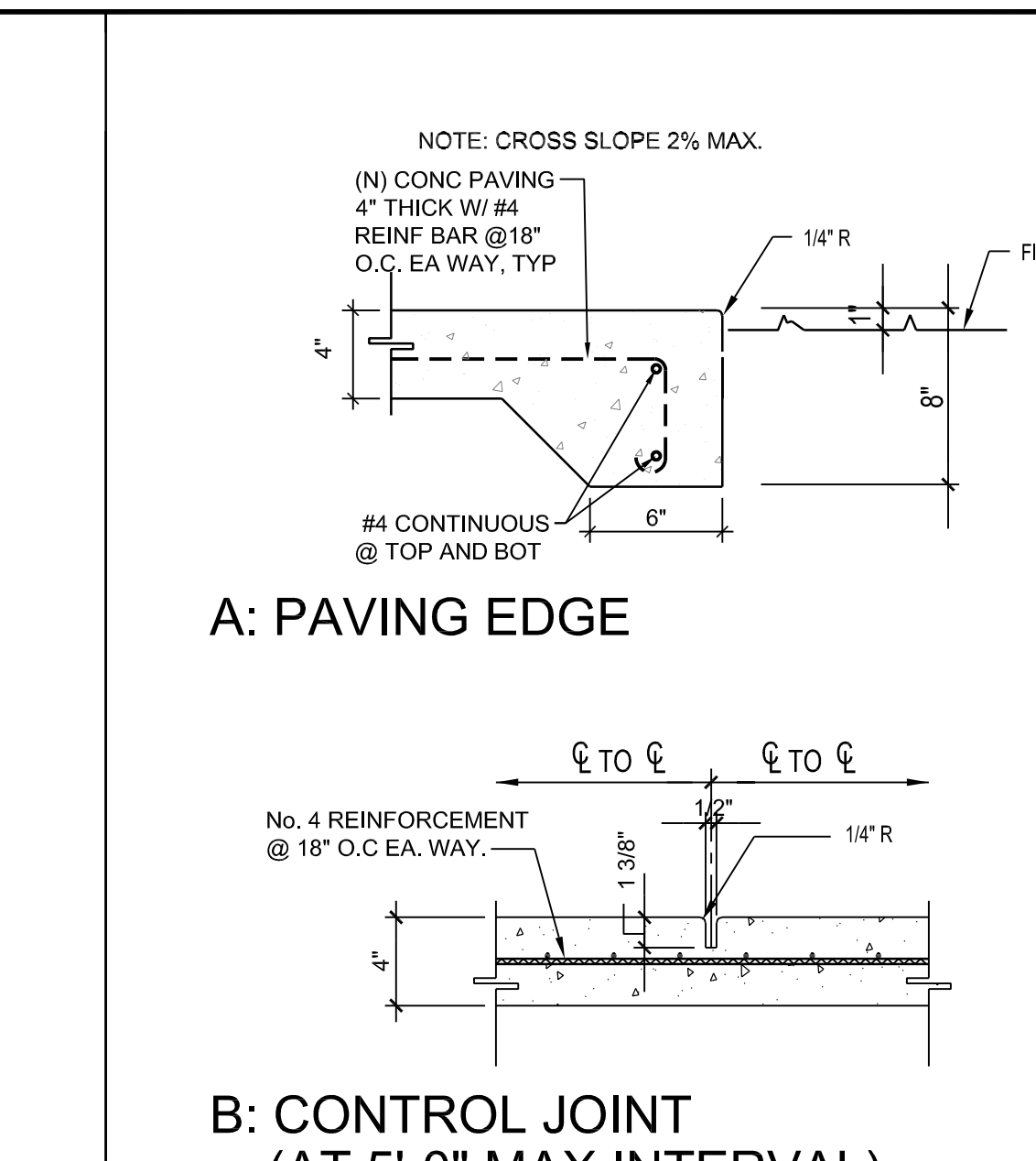
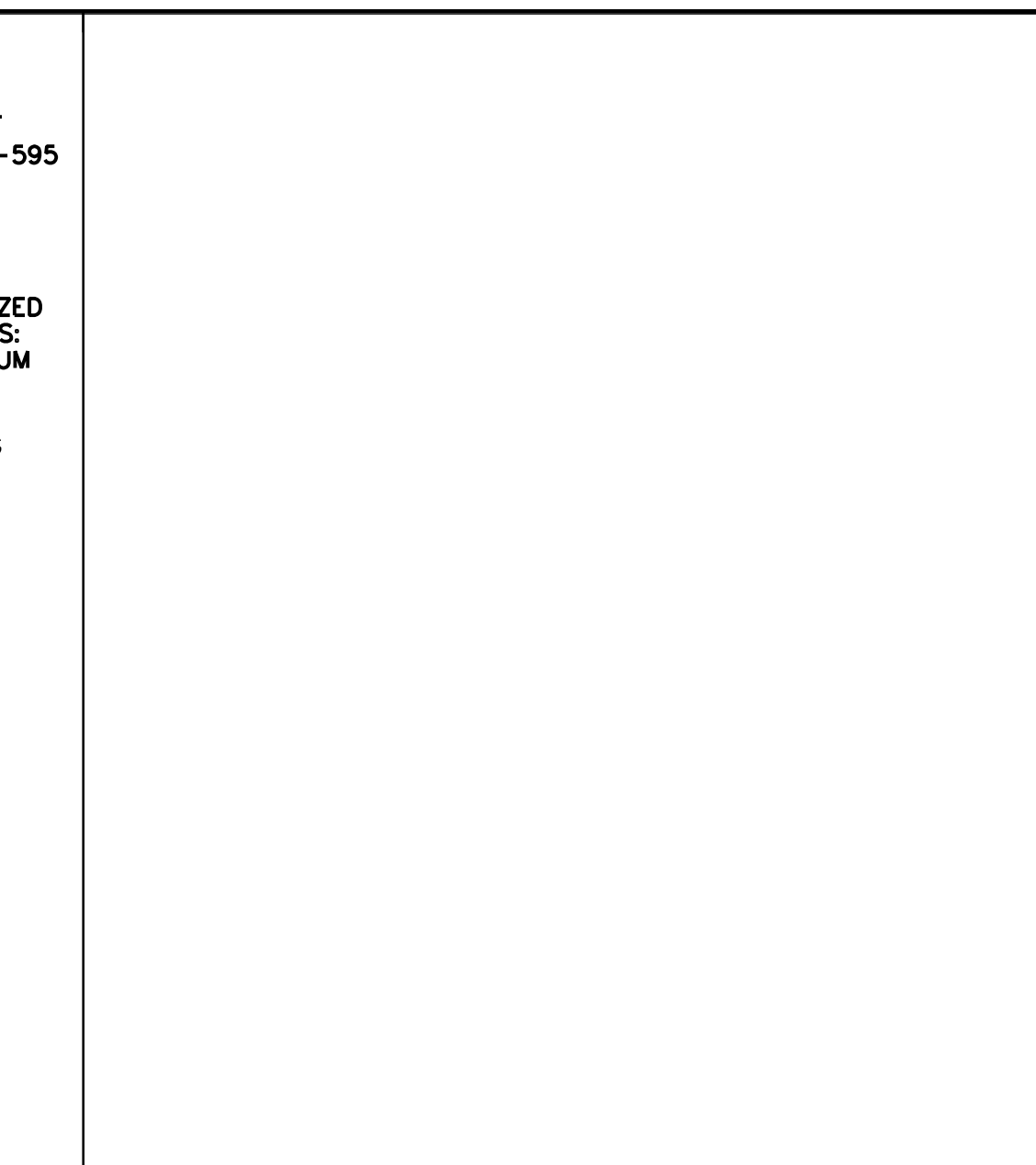
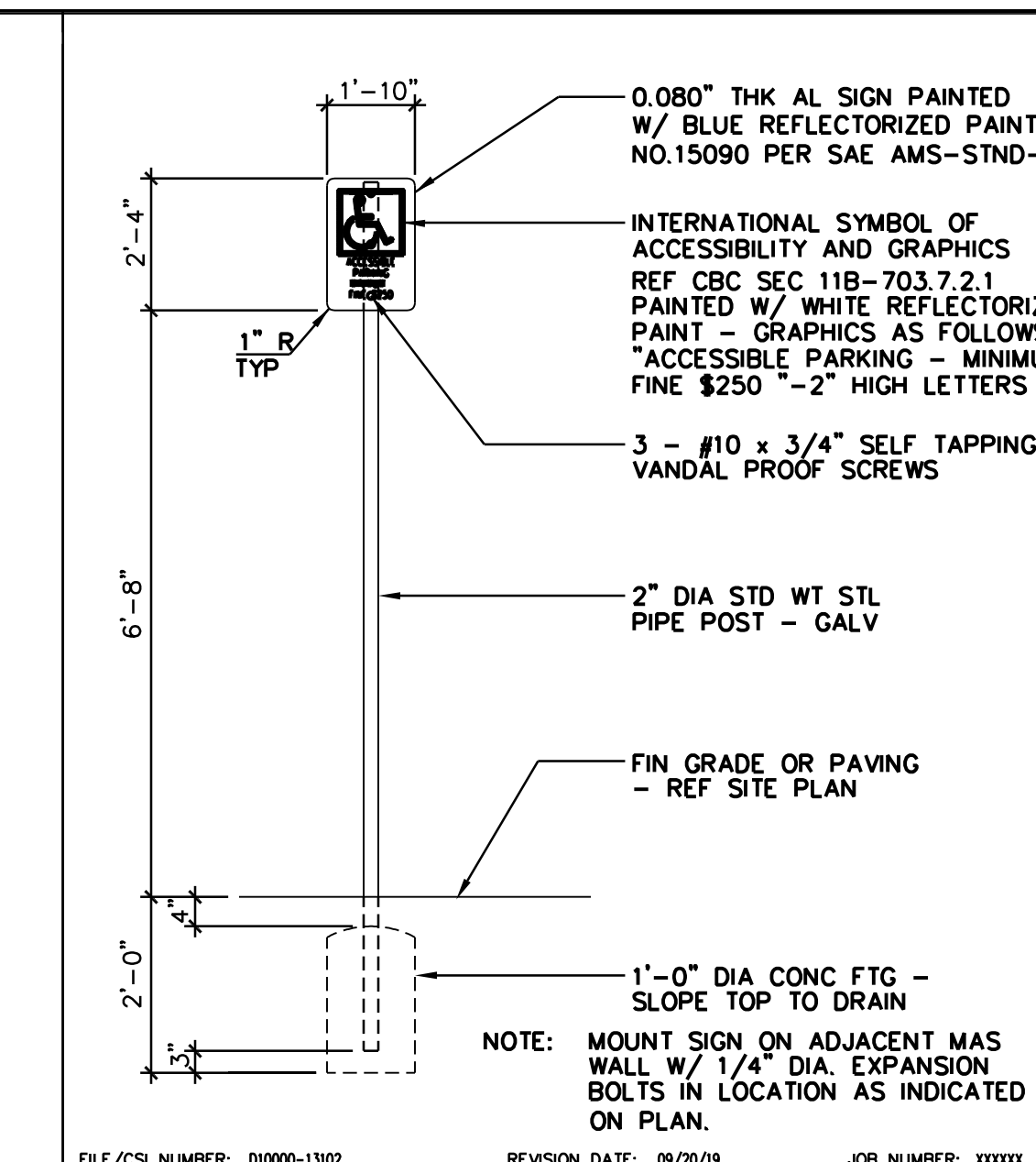
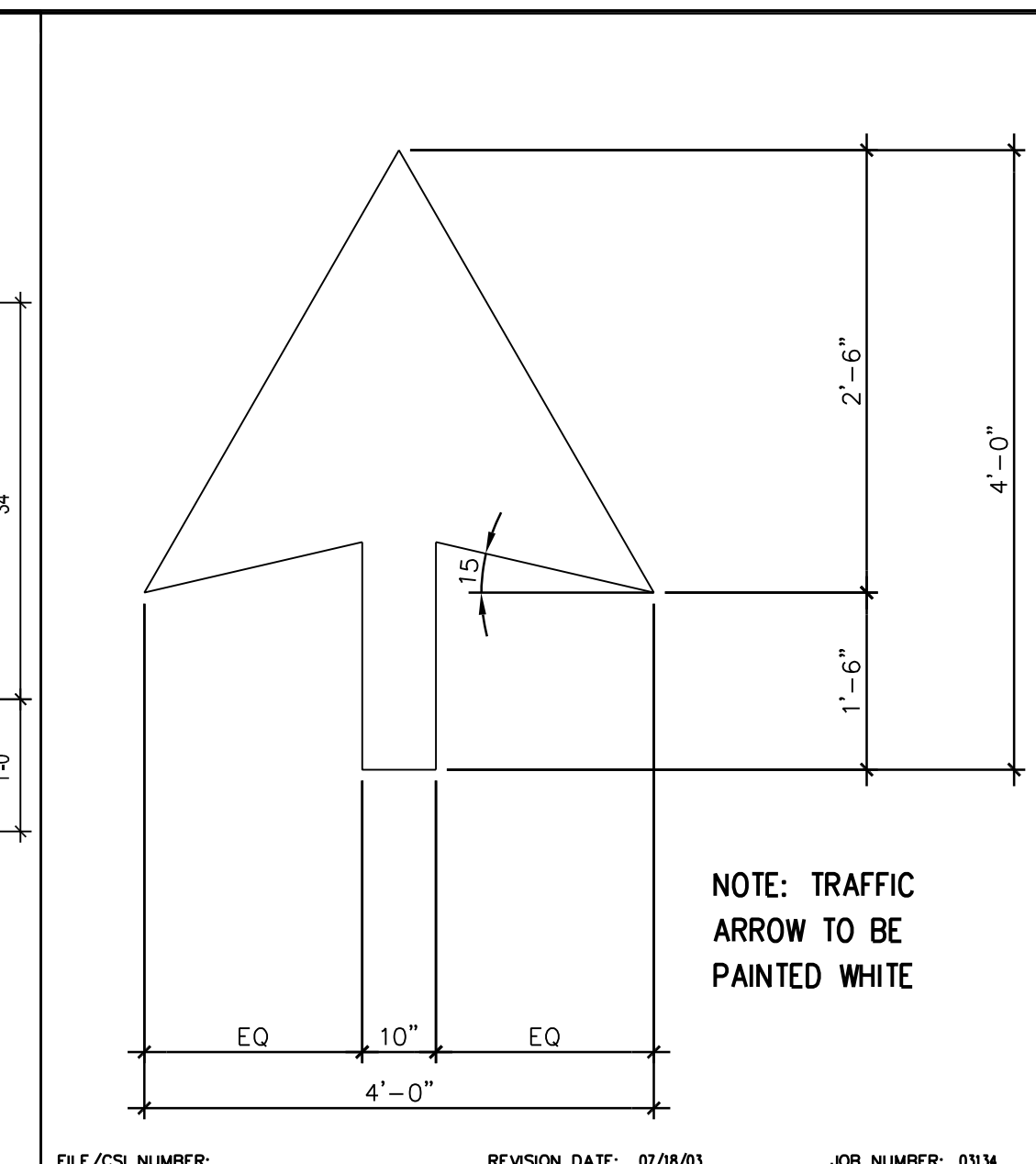
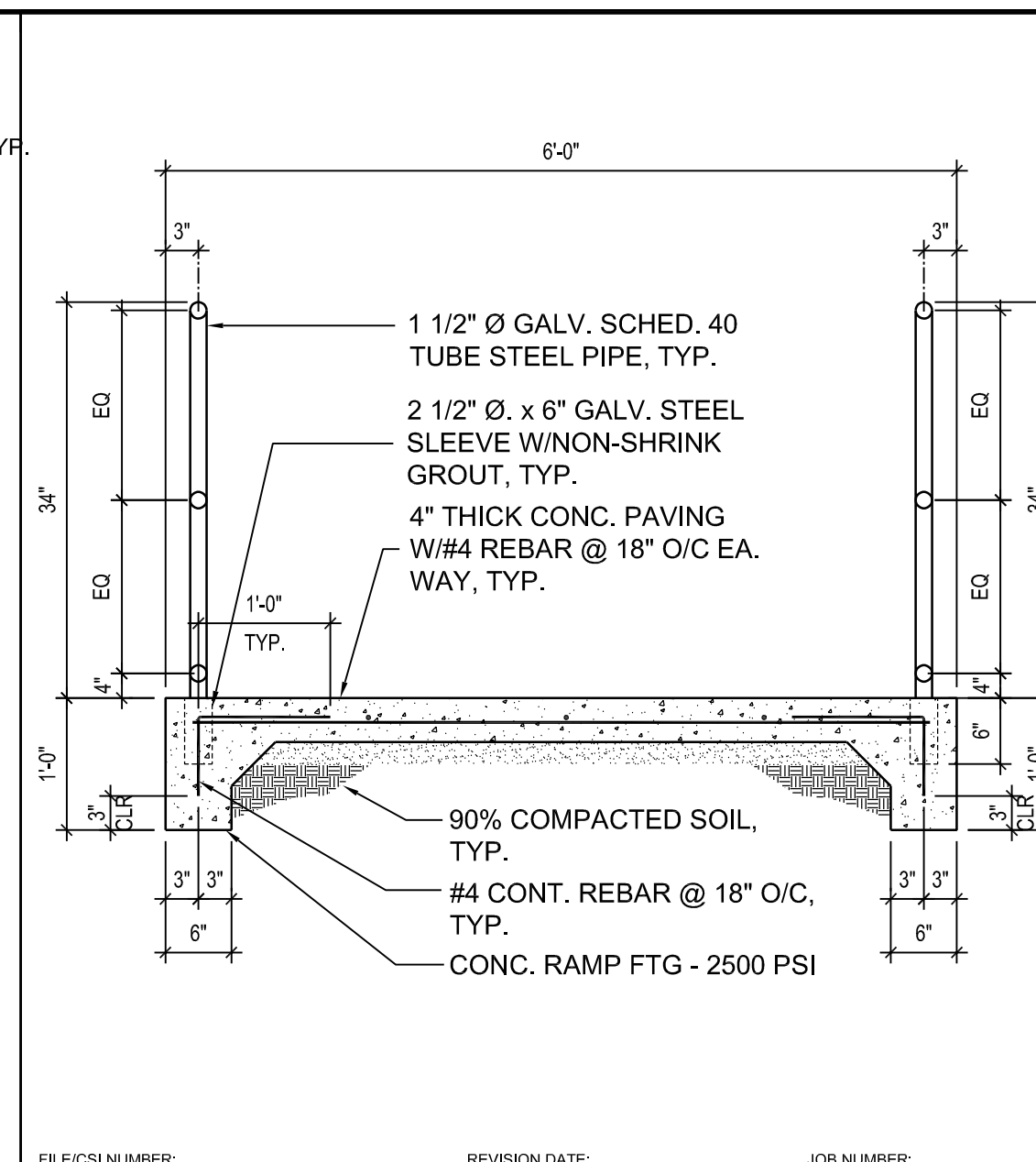
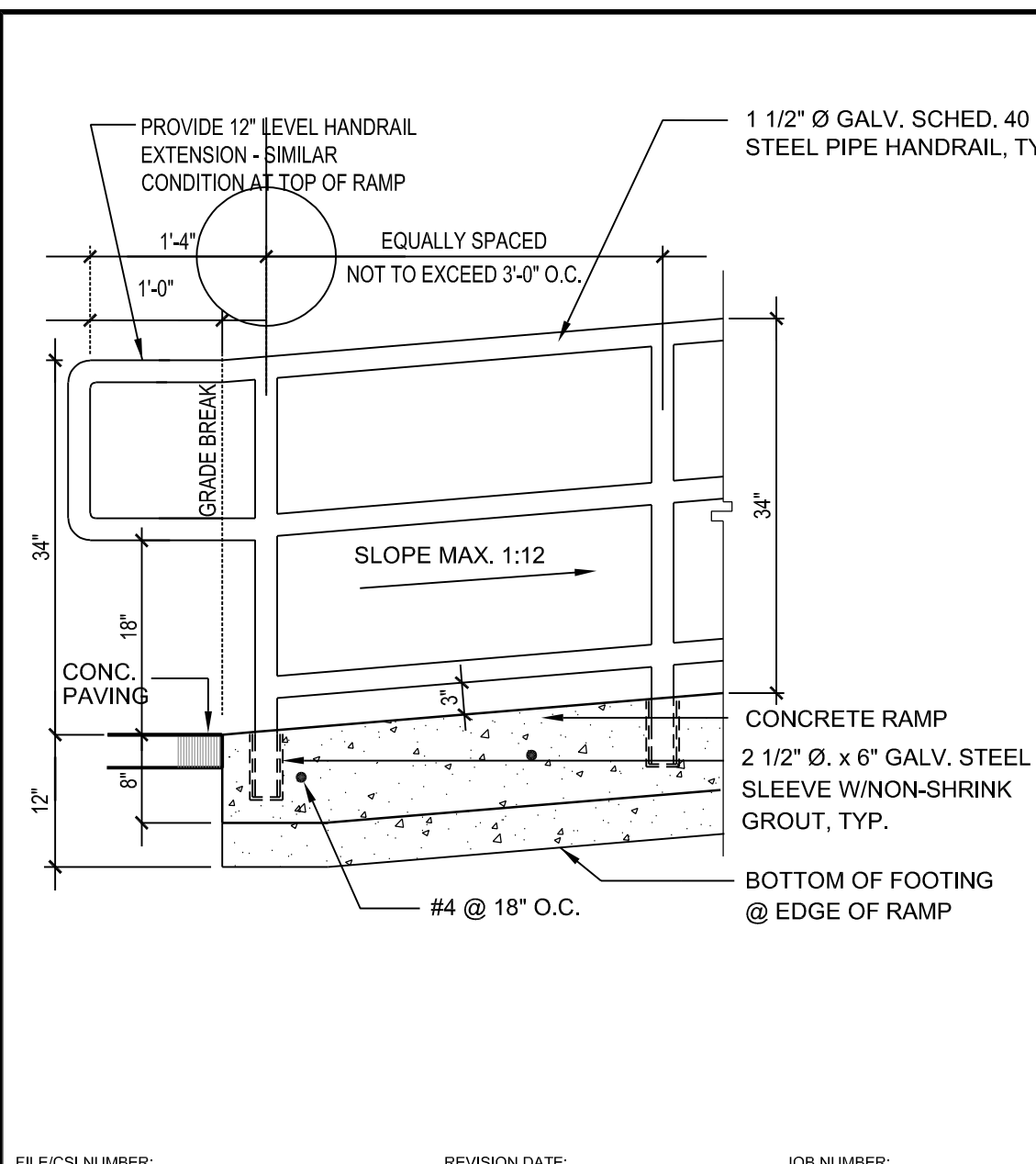
CONSULTANT

1	5/1/2023	PRK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: CHECKED:
DATE: 02/24/2023 SCALE:
PROJECT NUMBER: 000000

**ENLARGED
SITE PLAN**

DRAWING NUMBER: **A1.3**



PRK
 RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

HANDRAIL AT RAMP 3/4"=1'-0" 21

RAMP SECTION 3/4"=1'-0" 17

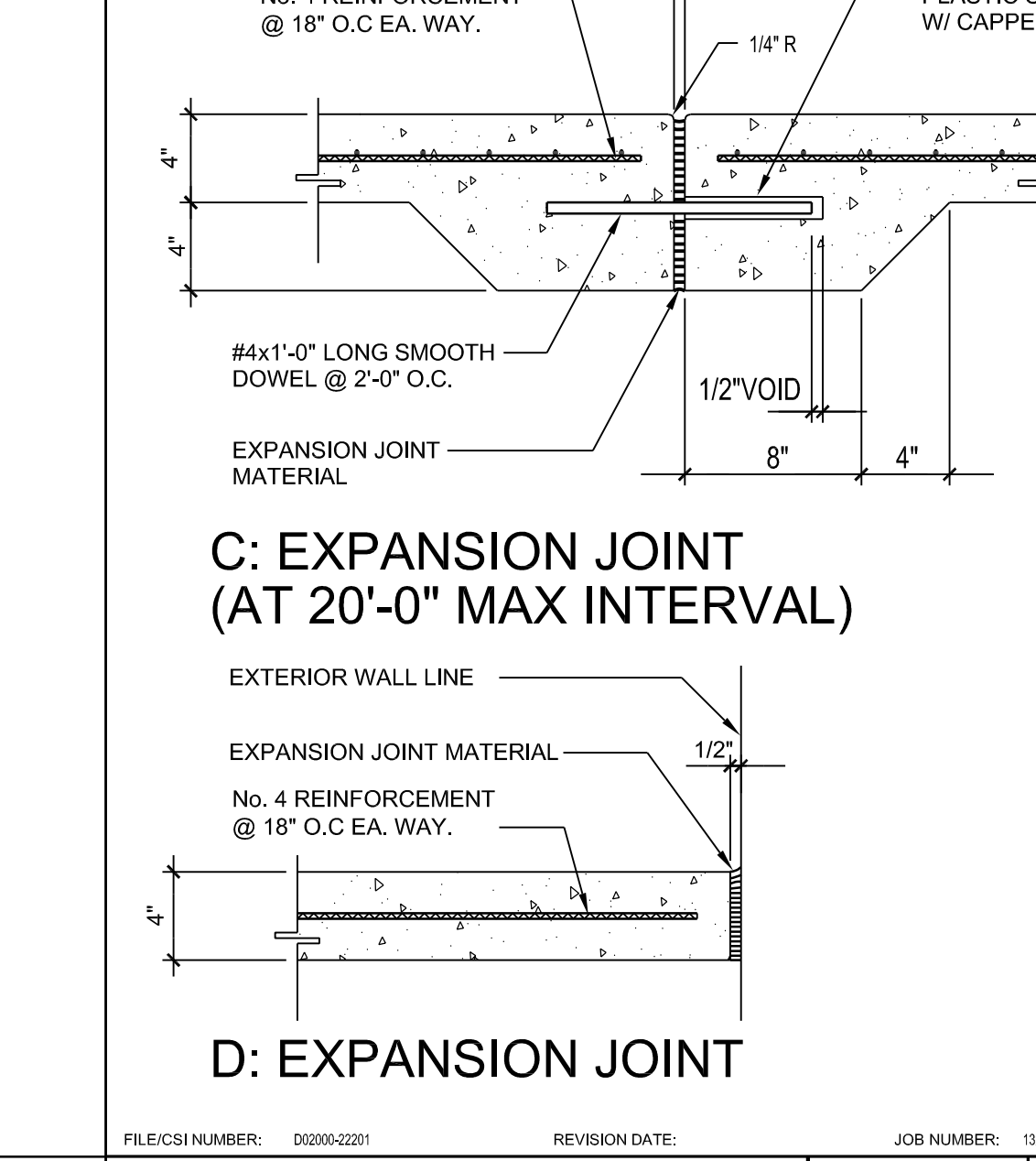
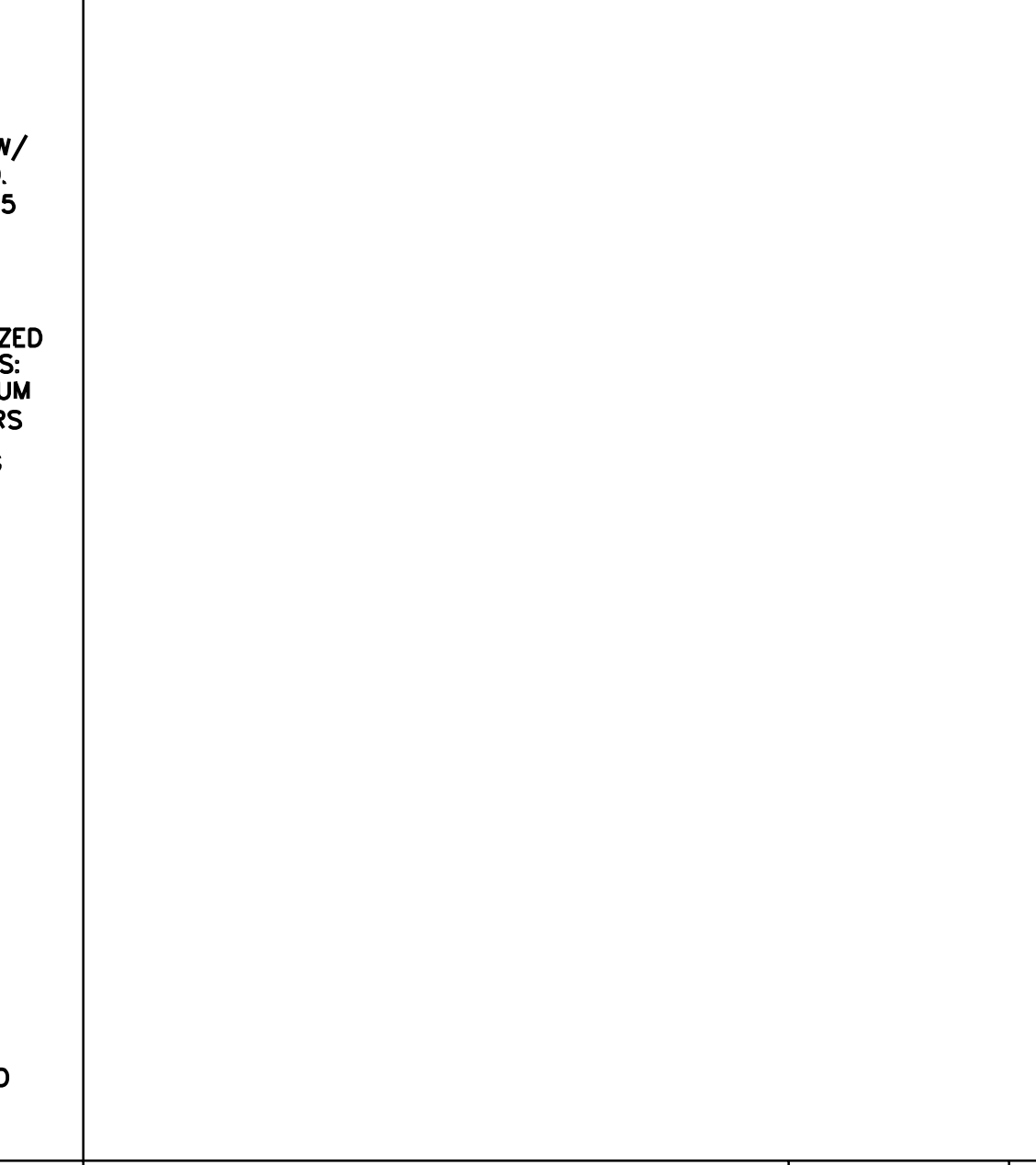
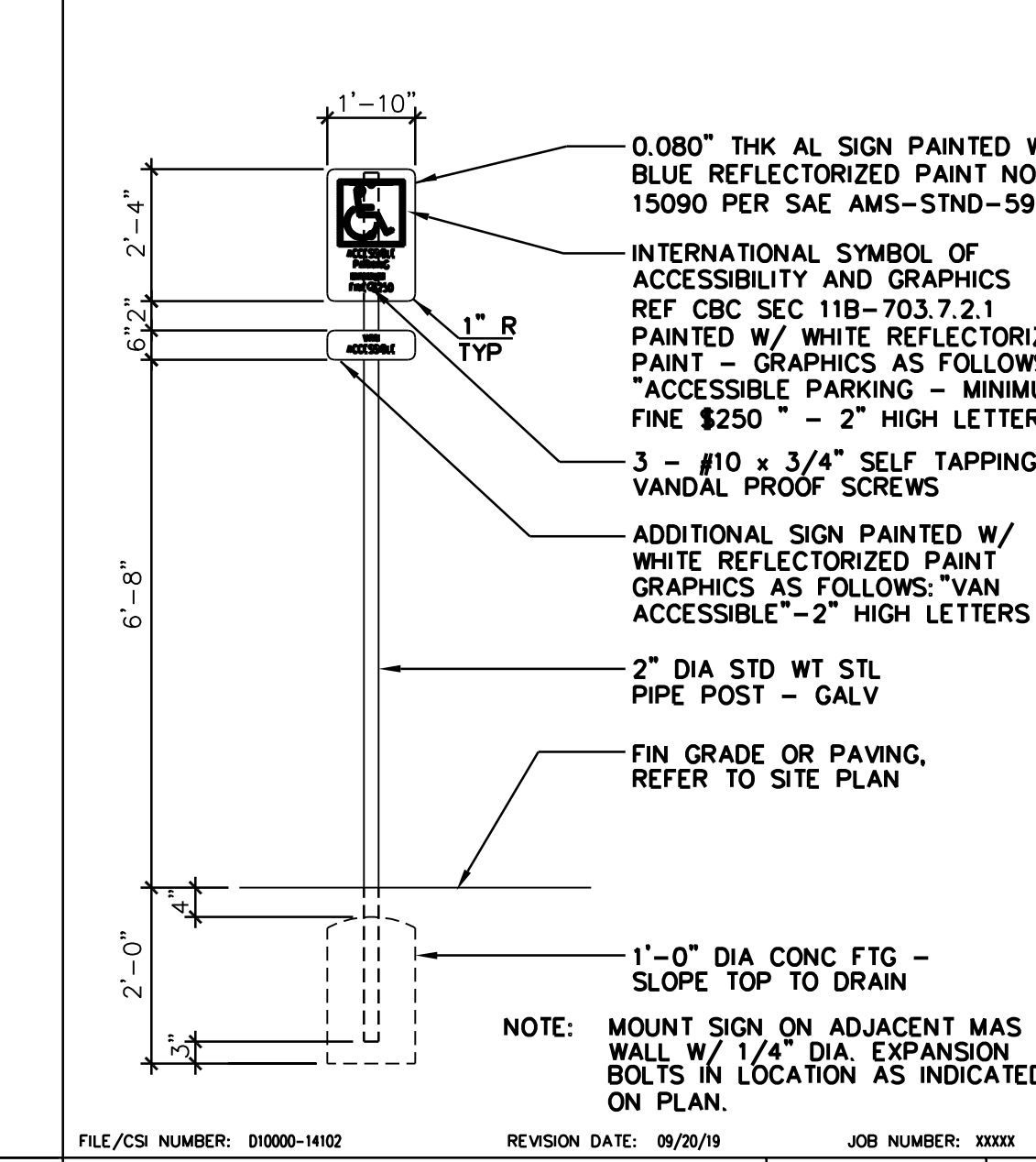
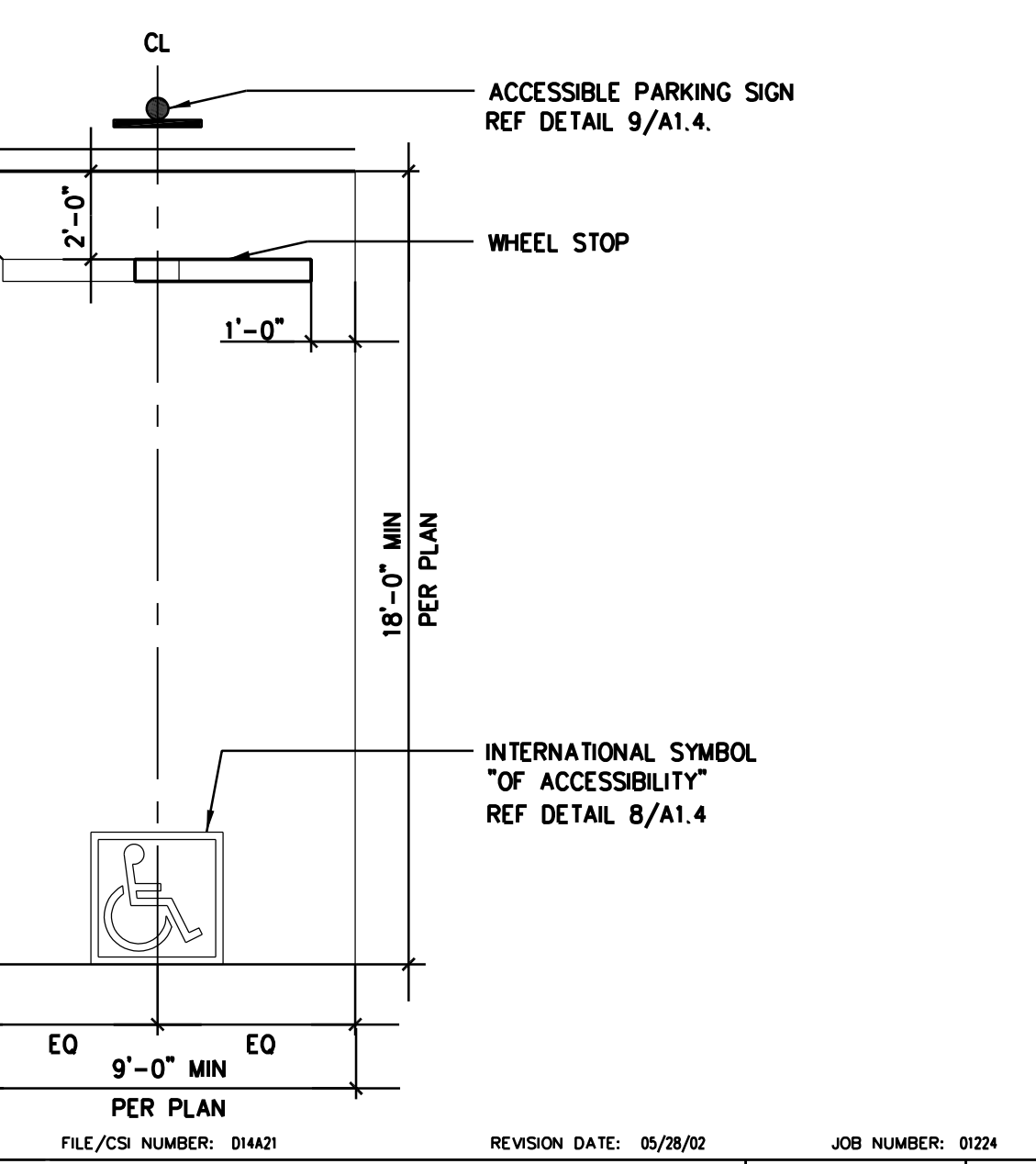
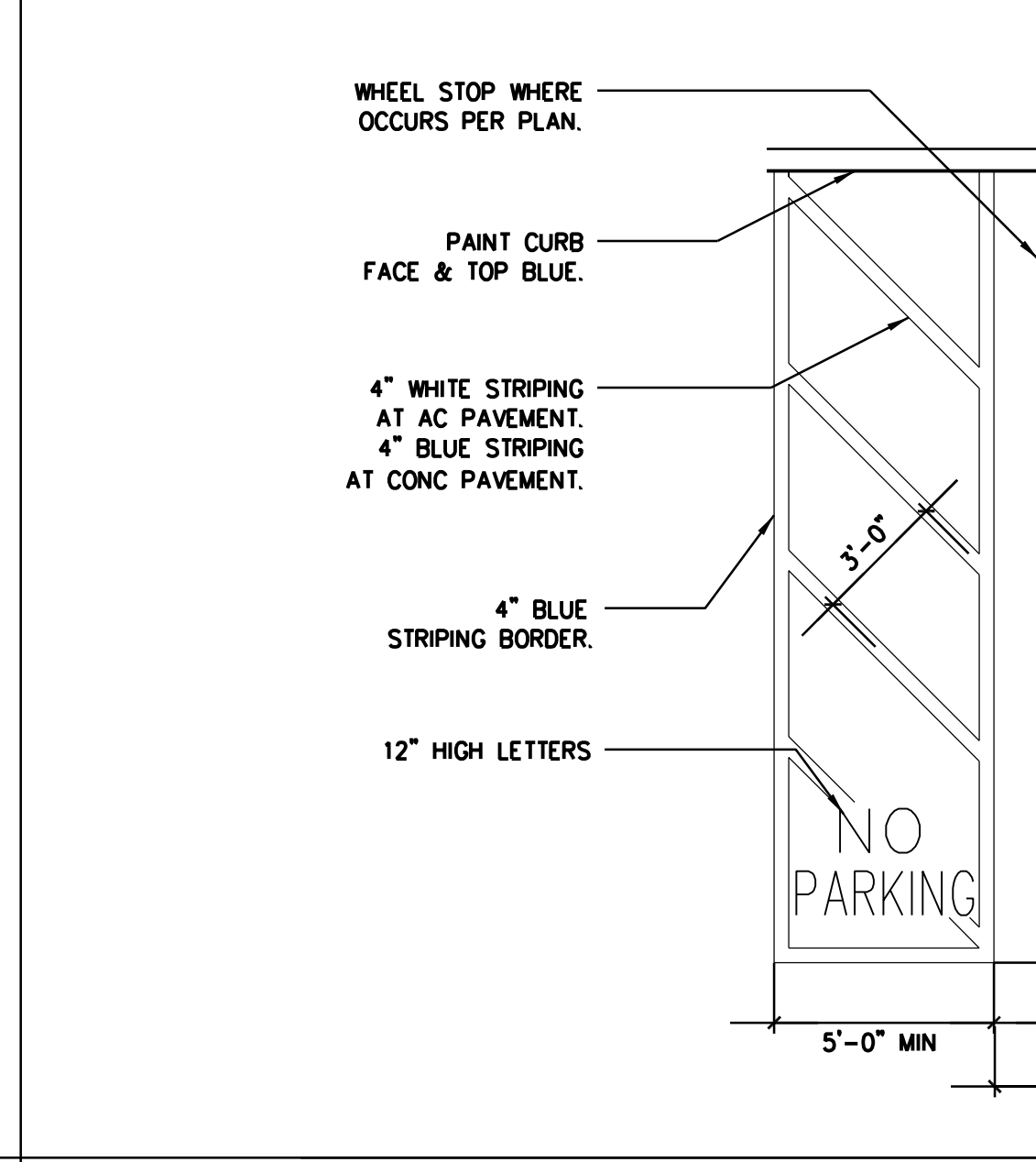
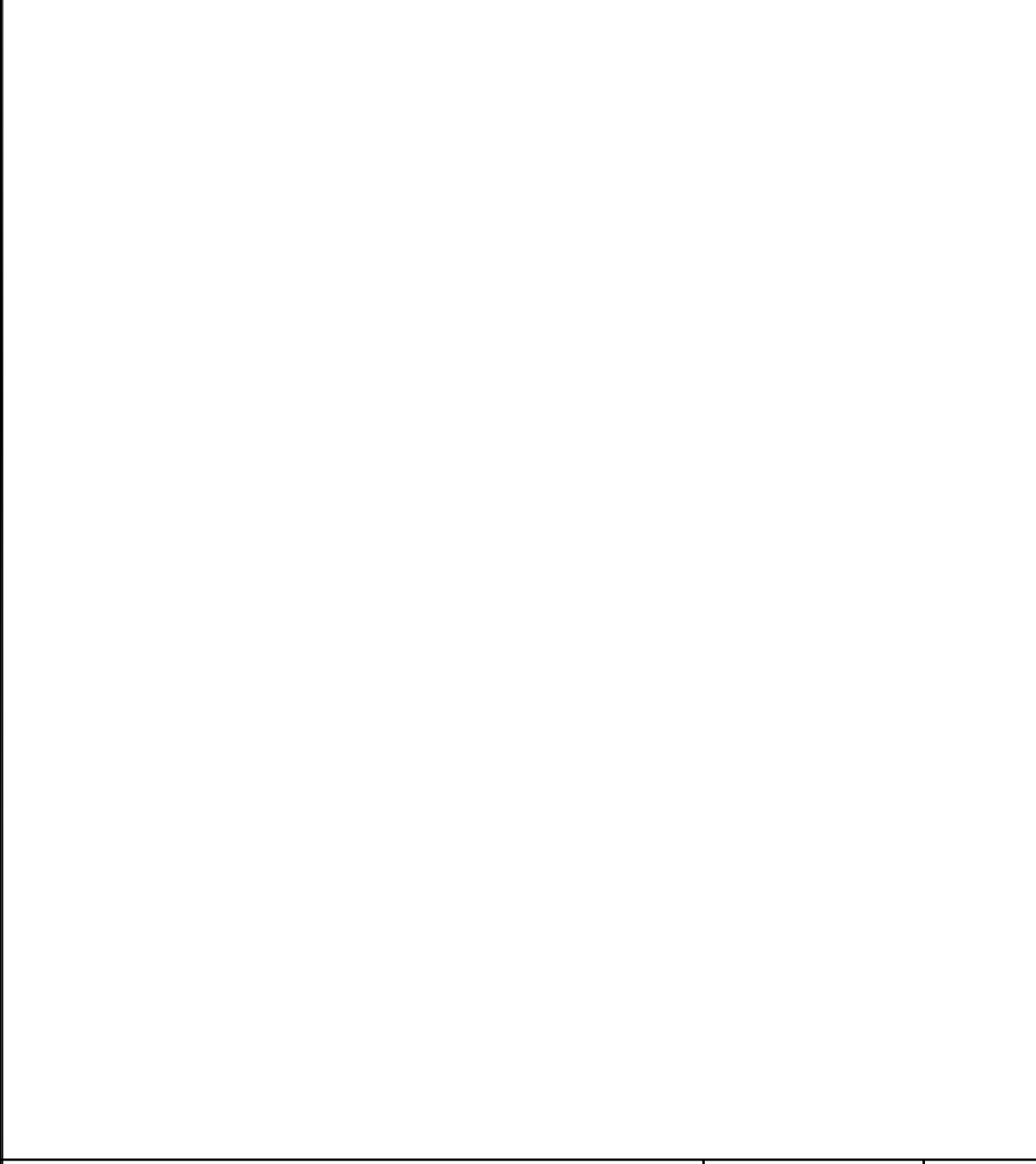
TRAFFIC ARROW 1/2"=1'-0" 13

PARKING SIGN 1/2"=1'-0" 9

CONTROL JOINT (AT 5'-0" MAX INTERVAL)

EXPANSION JOINT (AT 20'-0" MAX INTERVAL)

EXPANSION JOINT



**GREEN TREE EAST LEADERSHIP ACADEMY
 PARKING LOT SLURRY SEAL AND PLAYGROUND RESURFACING
 VICTOR ELEMENTARY SCHOOL DISTRICT
 17246 GIBRALTER DR.
 VICTORVILLE, CA 92395**

ACCESSIBLE PARKING 1/4"=1'-0" 14

PARKING SIGN 1/2"=1'-0" 10

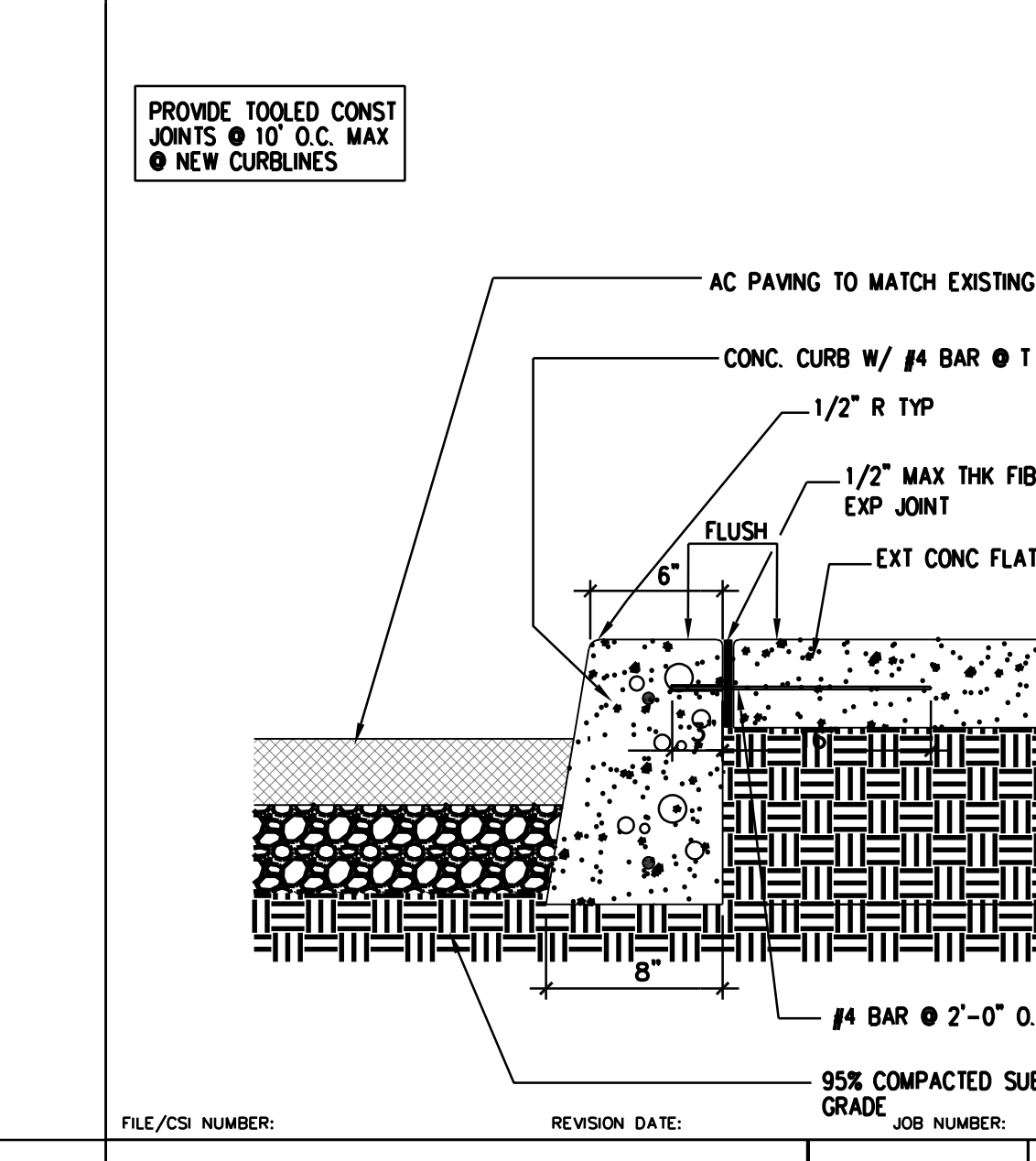
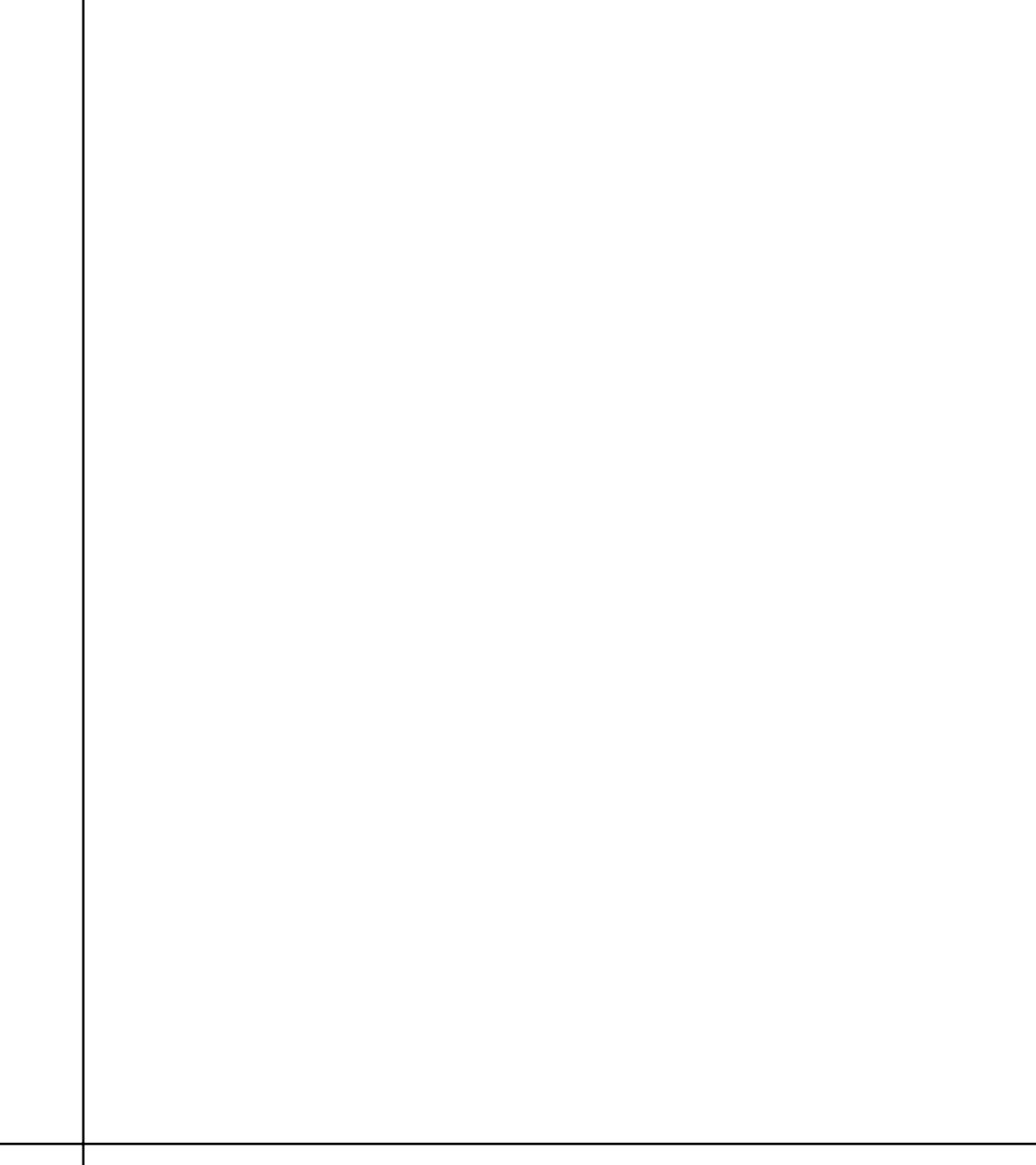
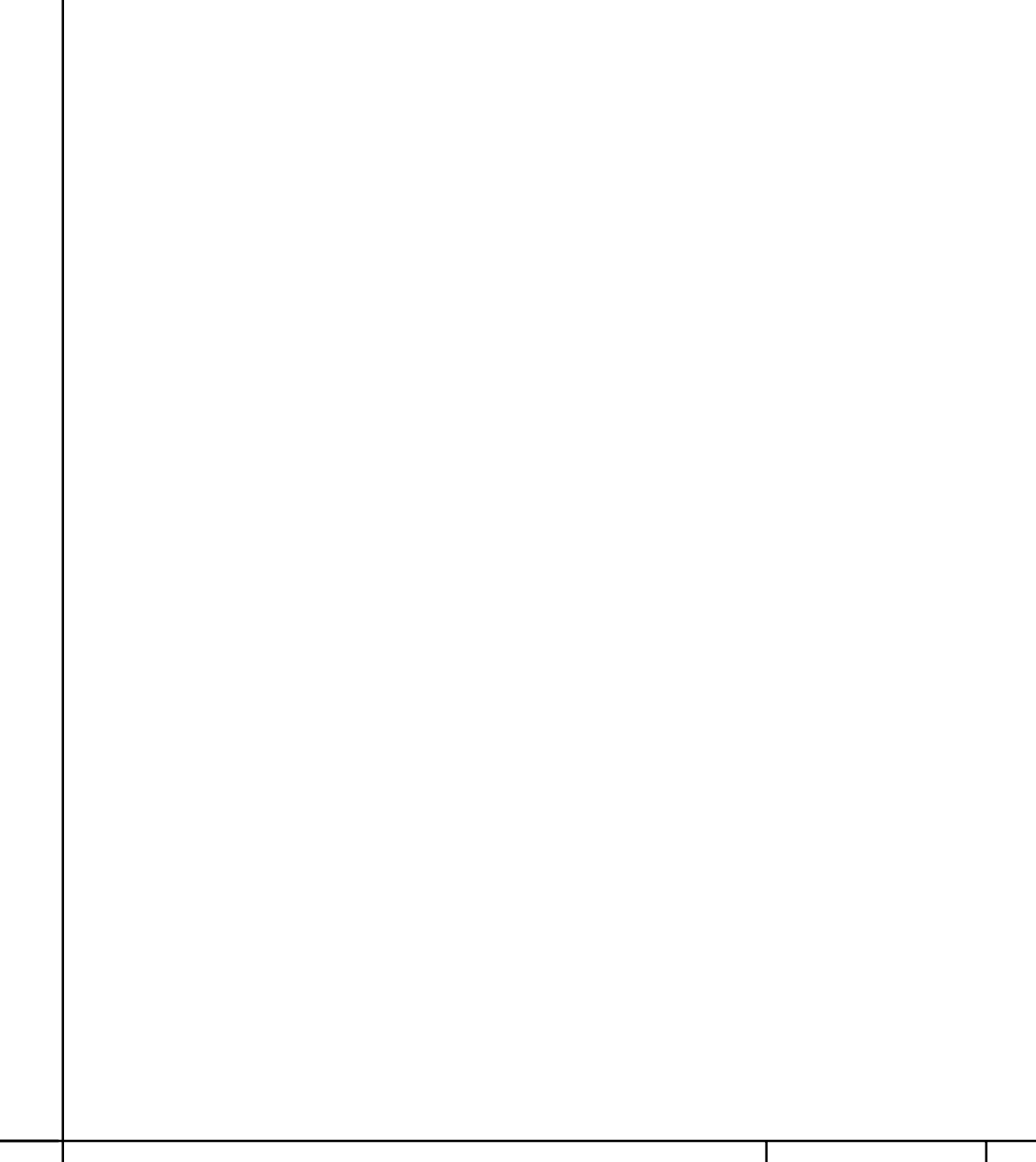
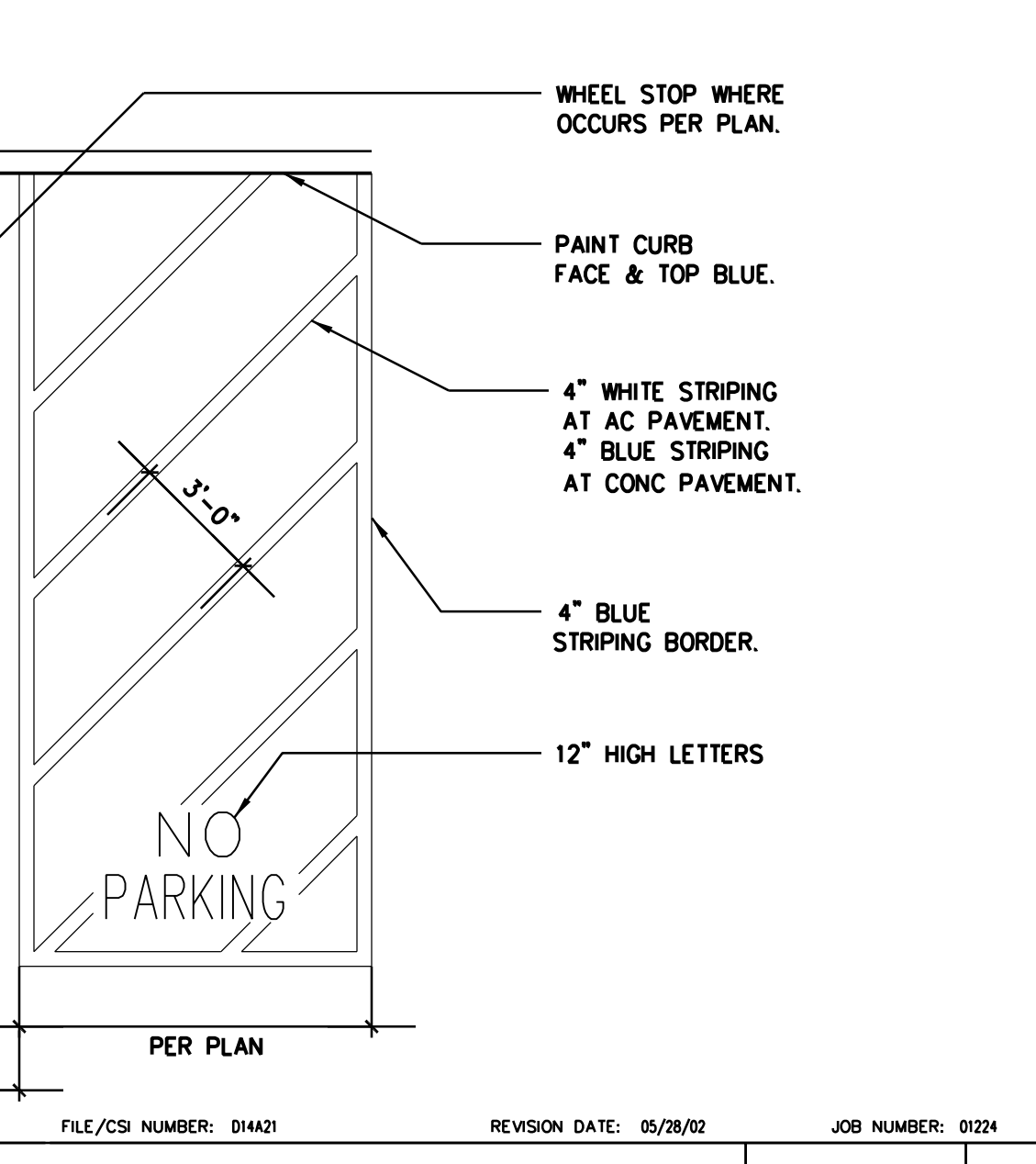
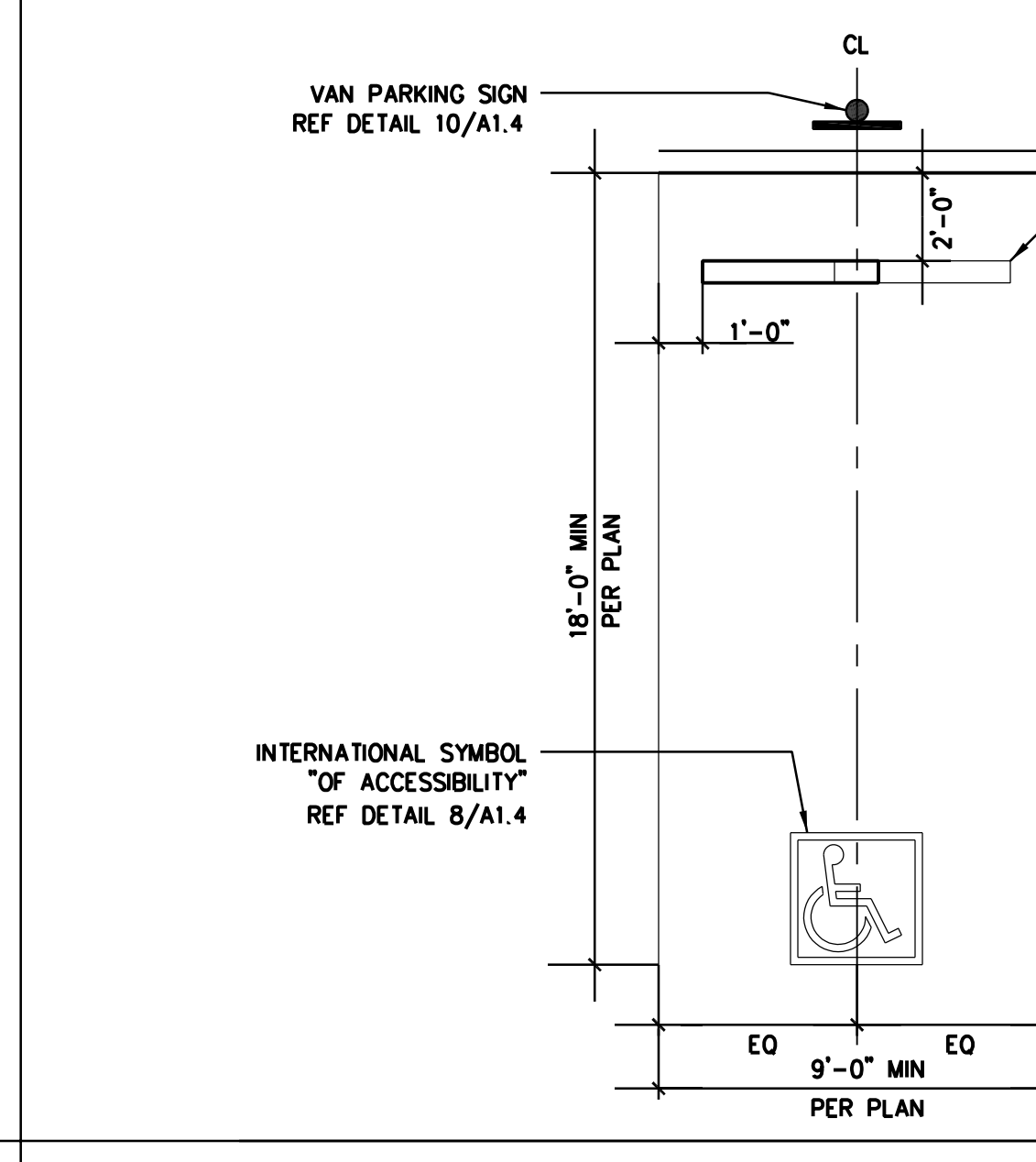
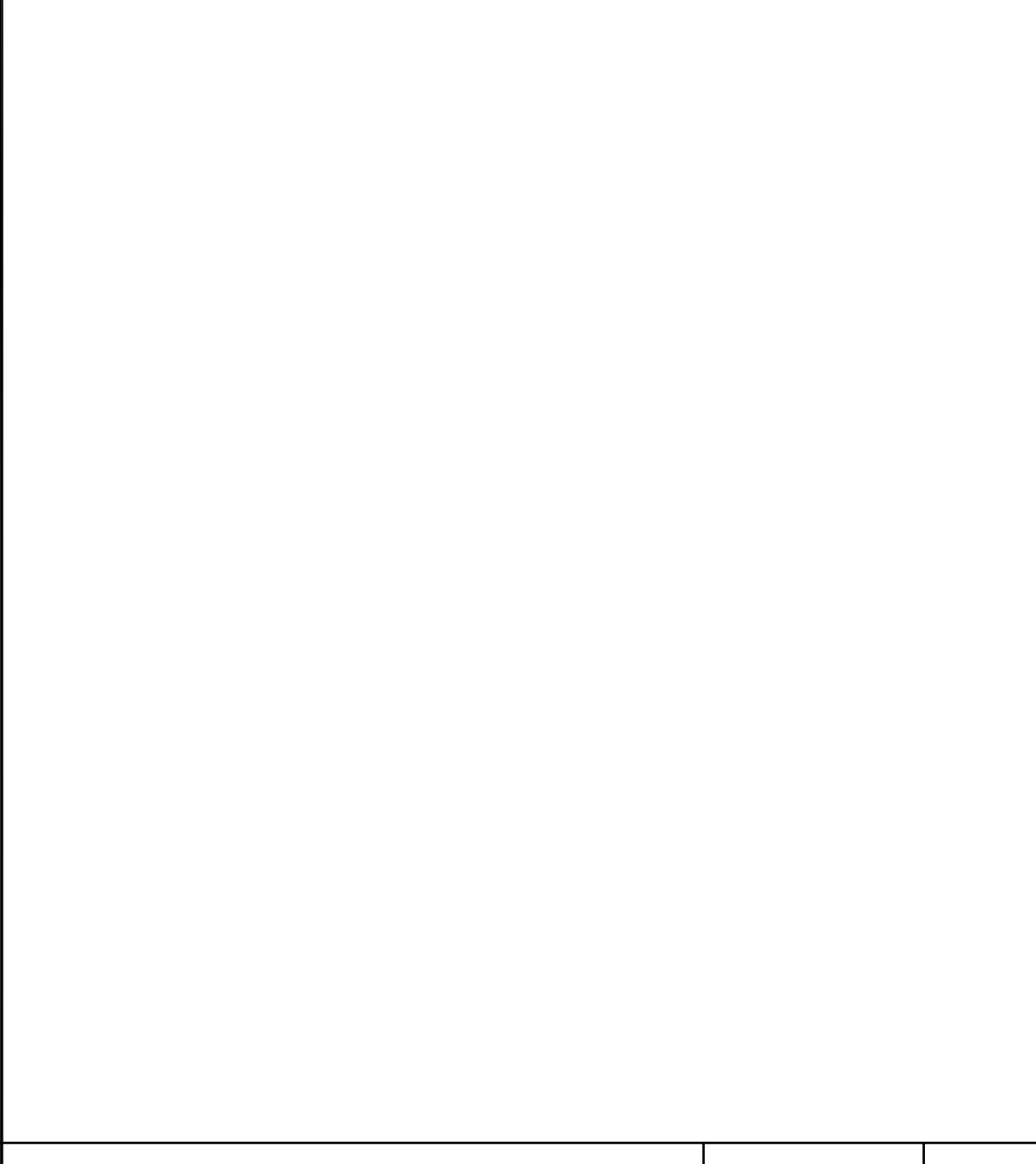
VAN ACCESSIBLE PARKING 1/4"=1'-0" 15

TYP CONCRETE PAVING 1 1/2"=1'-0" 2

VAN ACCESSIBLE PARKING 1/4"=1'-0" 15

CONC CURB 1 1/2"=1'-0" 3

CONC CURB 1 1/2"=1'-0" 3



CONSULTANT

1	5/1/2023	PRK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			
DRAWN: WLC		CHECKED:	
DATE: 02/24/2023		SCALE: AS NOTED	
PROJECT NUMBER: 000000			

DETAILS

DRAWING NUMBER: A1.4

CONC PAVING JT W/ EXG CONC 1 1/2"=1'-0" 24

CONC CURB 1 1/2"=1'-0" 16

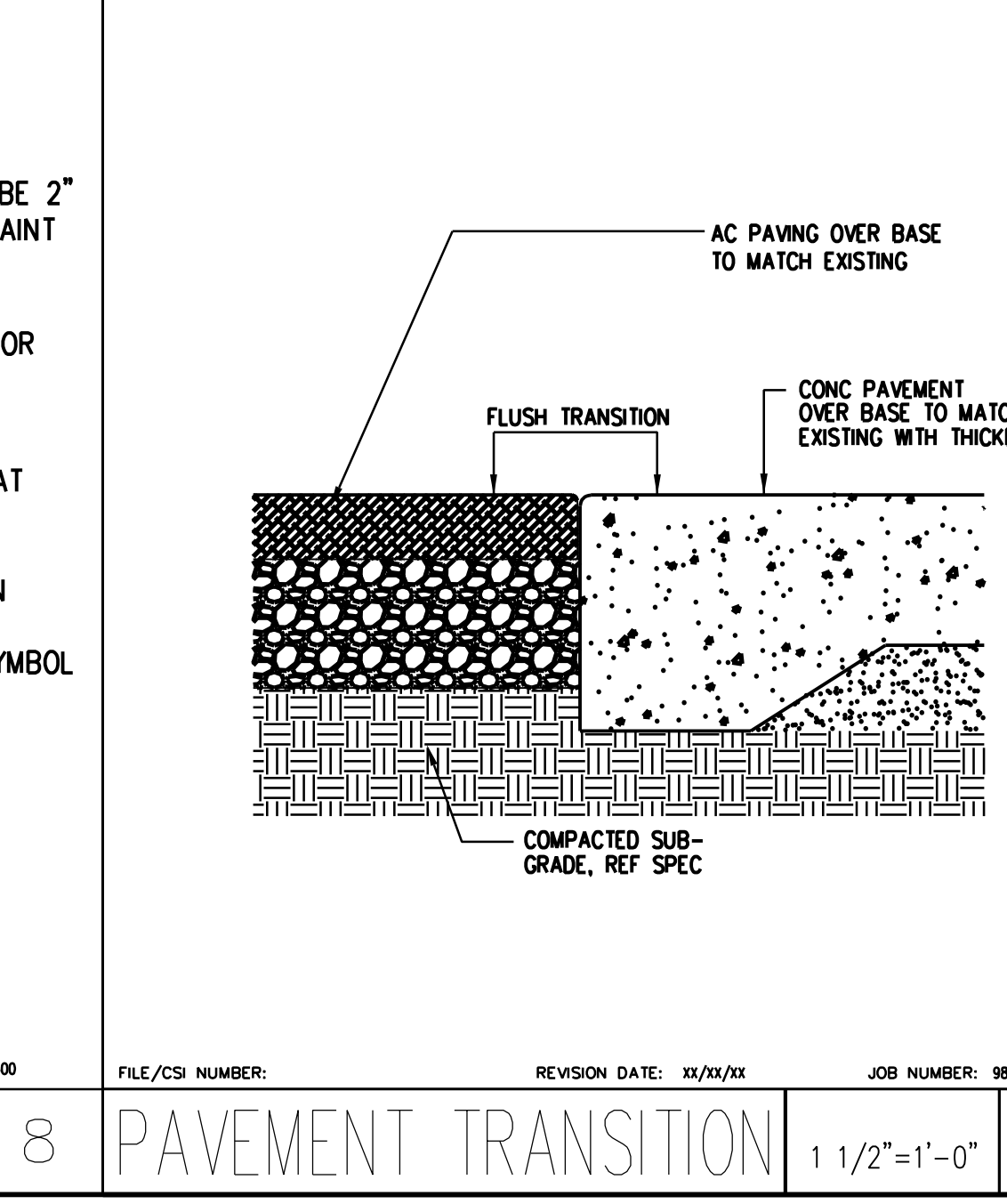
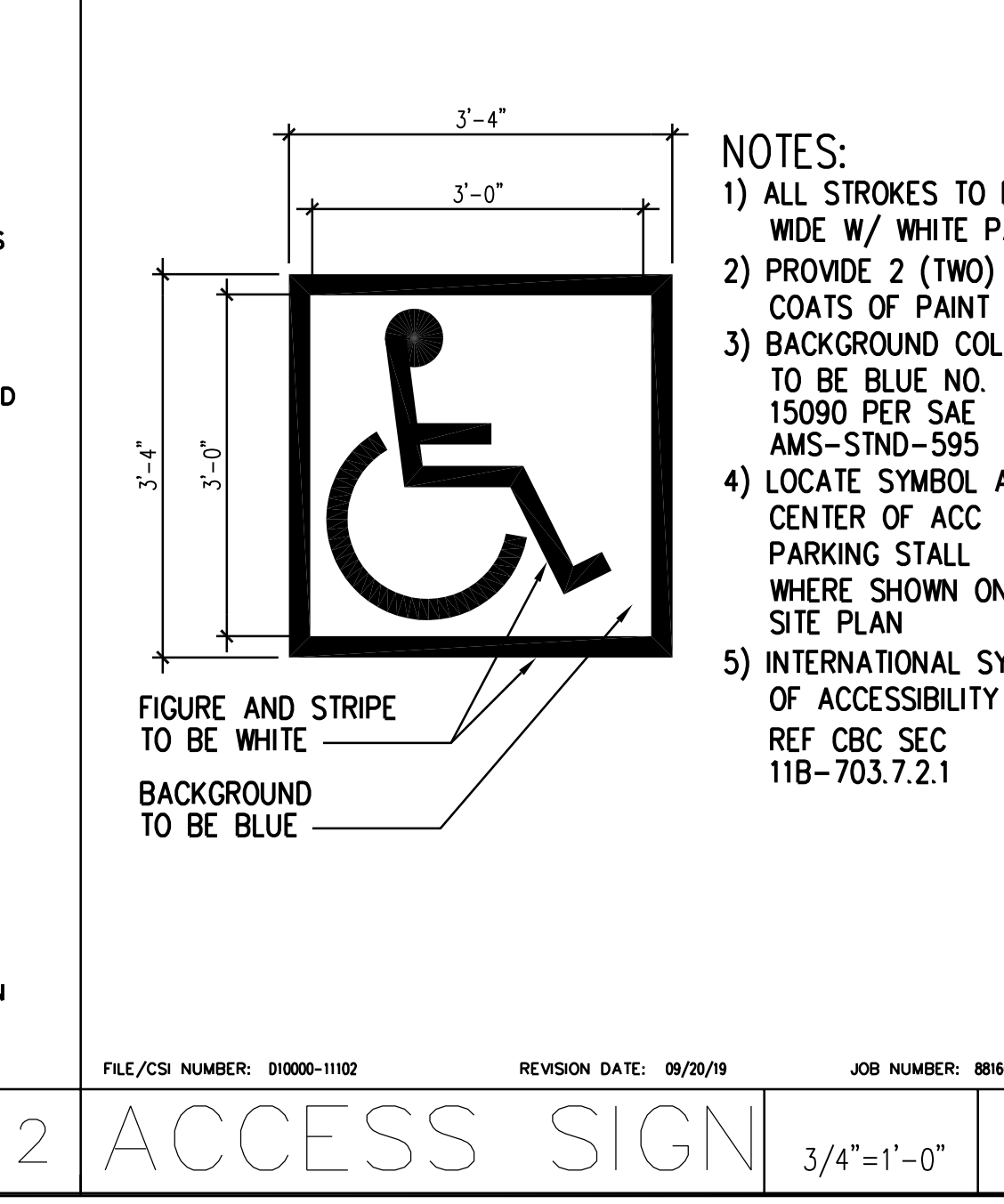
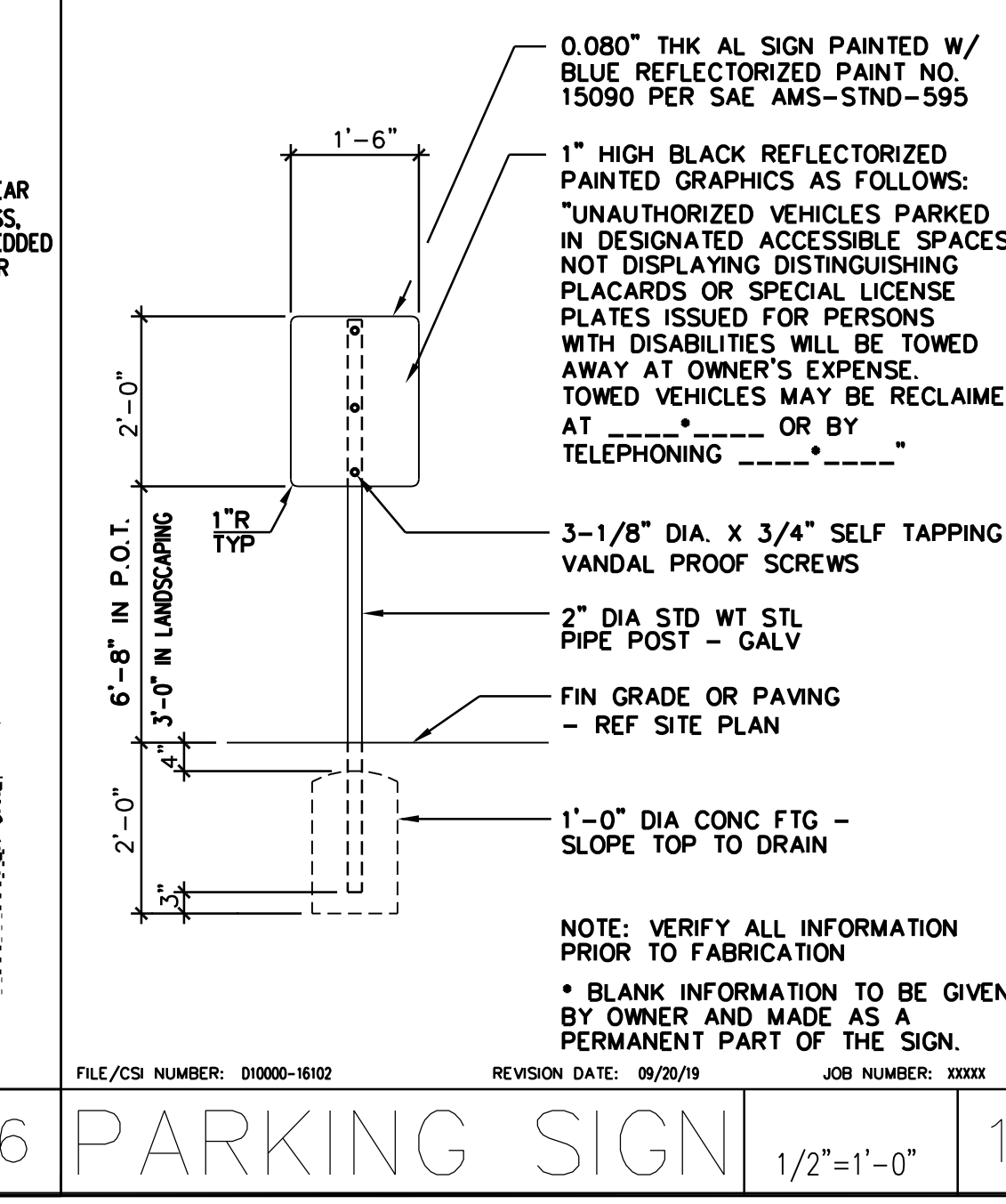
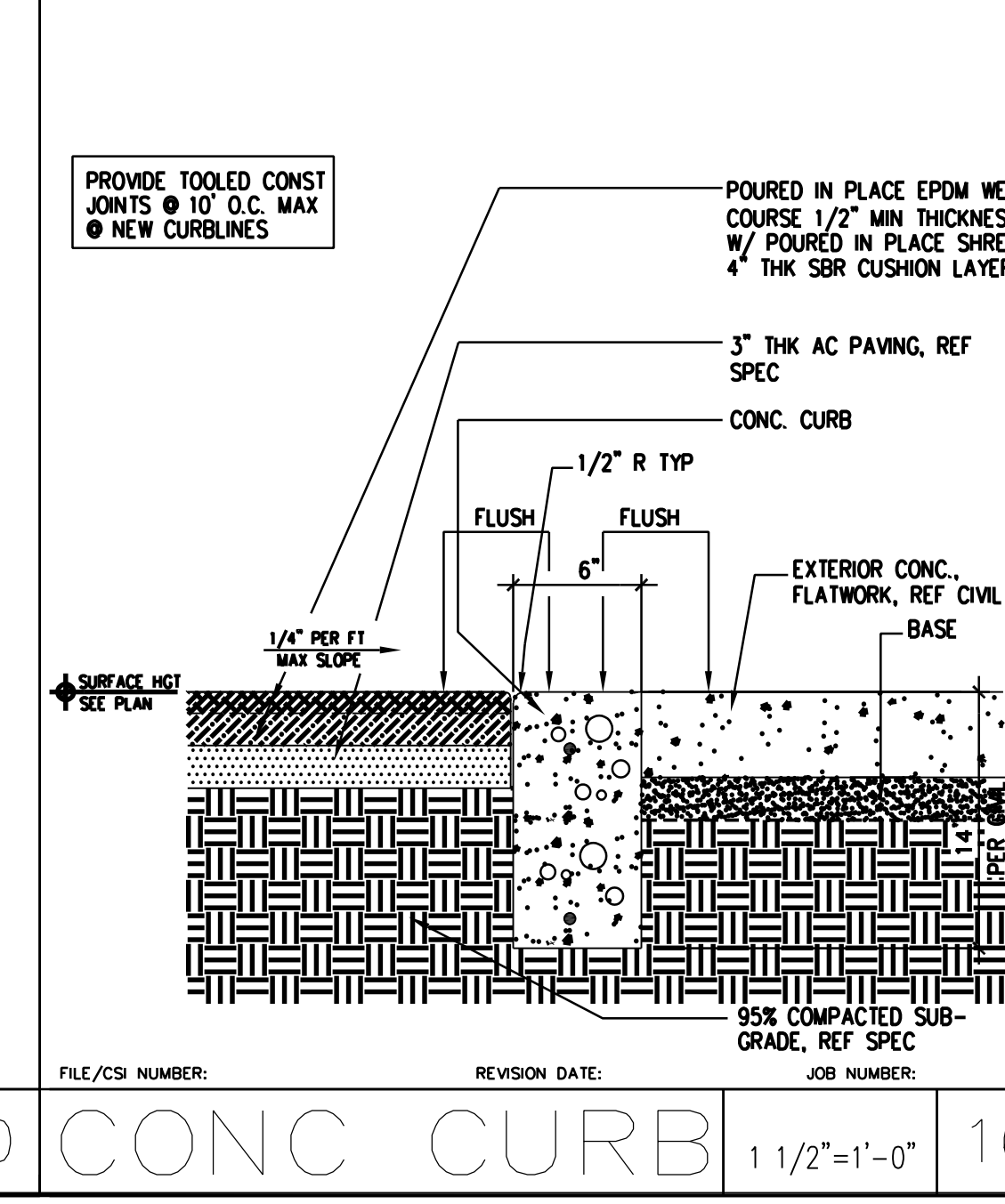
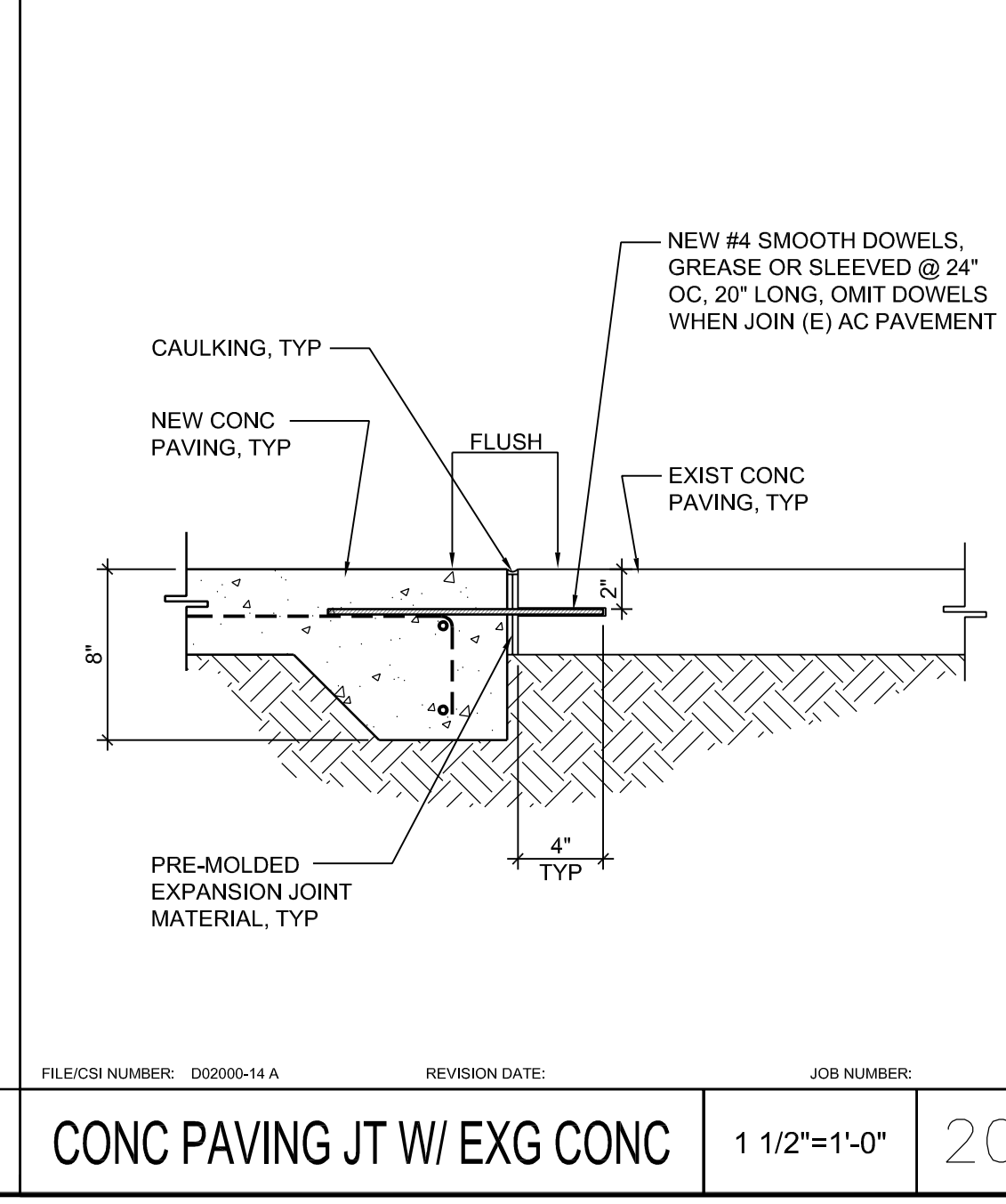
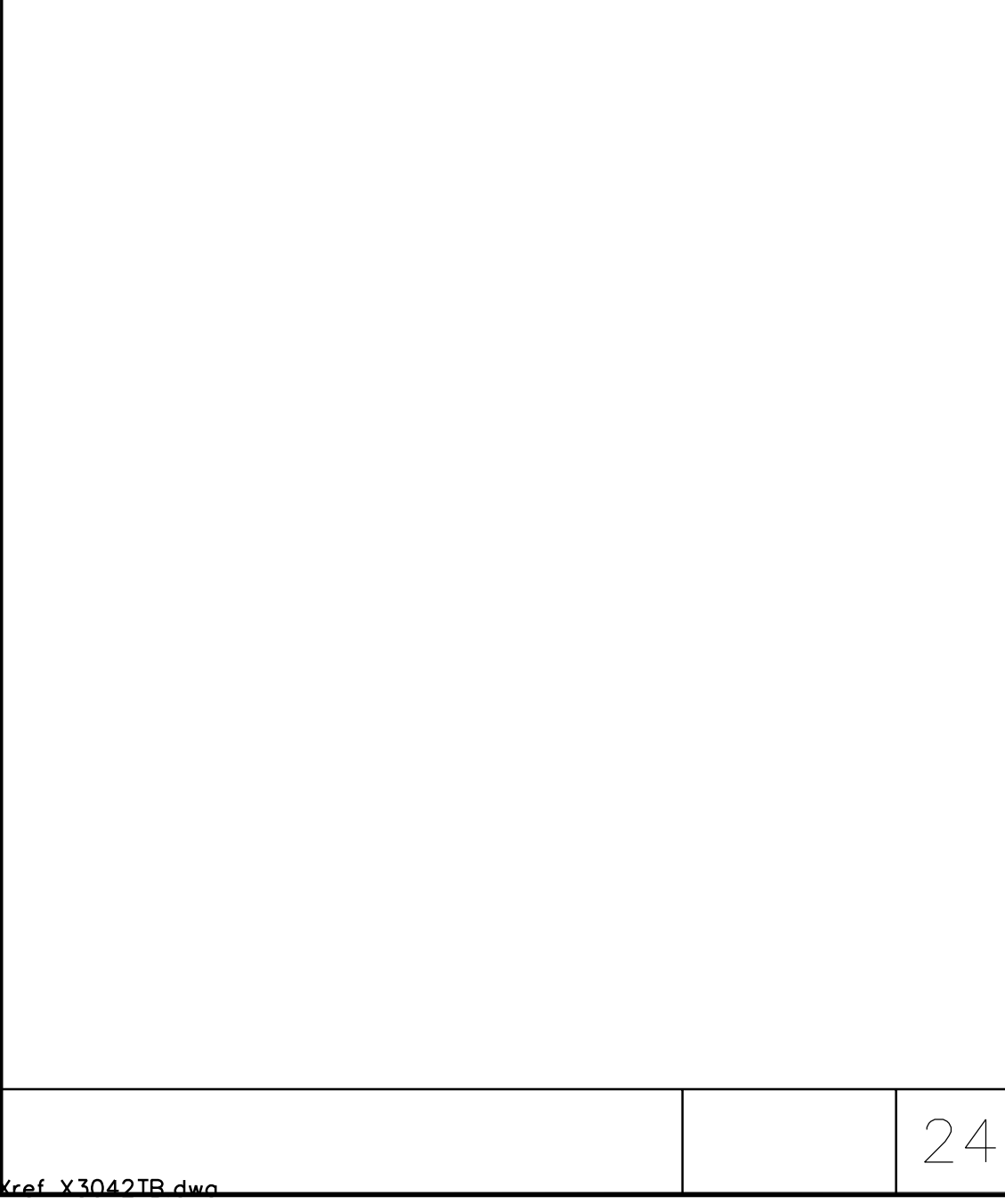
PARKING SIGN 1/2"=1'-0" 12

ACCESS SIGN 3/4"=1'-0" 8

PAVEMENT TRANSITION 1 1/2"=1'-0" 4

CONC CURB 1 1/2"=1'-0" 3

CONC CURB 1 1/2"=1'-0" 3



CONSULTANT

1	5/1/2023	PRK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			
DRAWN: WLC		CHECKED:	
DATE: 02/24/2023		SCALE: AS NOTED	
PROJECT NUMBER: 000000			

DETAILS

DRAWING NUMBER: A1.4

IRWIN ACADEMY SCHOOL OF PERFORMING ARTS PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

14907 S. MOJAVE DR.
VICTORVILLE, CA 92395



**IRWIN ACADEMY SCHOOL OF PERFORMING ARTS
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**

14907 S. MOJAVE DR.
VICTORVILLE, CA 92395

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT: 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.
- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 4	

PROJECT TEAM

PROJECT ADDRESS
IRWIN ACADEMY SCHOOL OF PERFORMING ARTS
14907 S. MOJAVE DR.,
VICTORVILLE, CA 92395
PHONE: 760-245-7961

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

REVISION
3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

--- CENTER LINES, FLOOR LINES AND LEVEL LINES
- - - SECTION LINES
= = = PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCL	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOL	OWNER FURNISHED - OWNER INSTALLED
EA	EACH	SCHED	SCHEDULE
CL	CHAIN LINK	SHT MTL	SHEET METAL
CLR	CLEAR(ANCE)	SLP	SLOPE
CLRM	CLASSROOM	STD	STANDARD
CONC	CONCRETE	STL	STEEL
DEMO	DEMOLISH, DEMOLITION	TYP	TYPICAL
EJ	EXPANSION JOINT	W/	WITH
GA	GAGE		
GALV	GALVANIZED		

GOVERNING AGENCIES

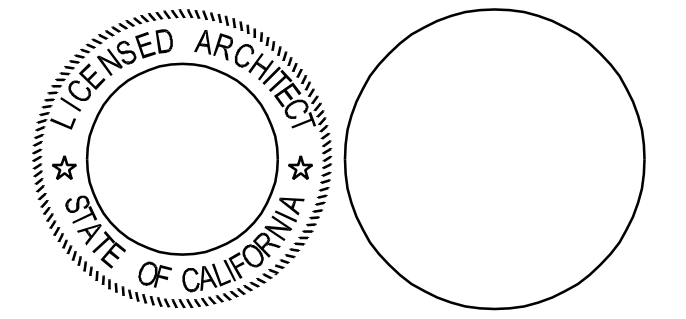
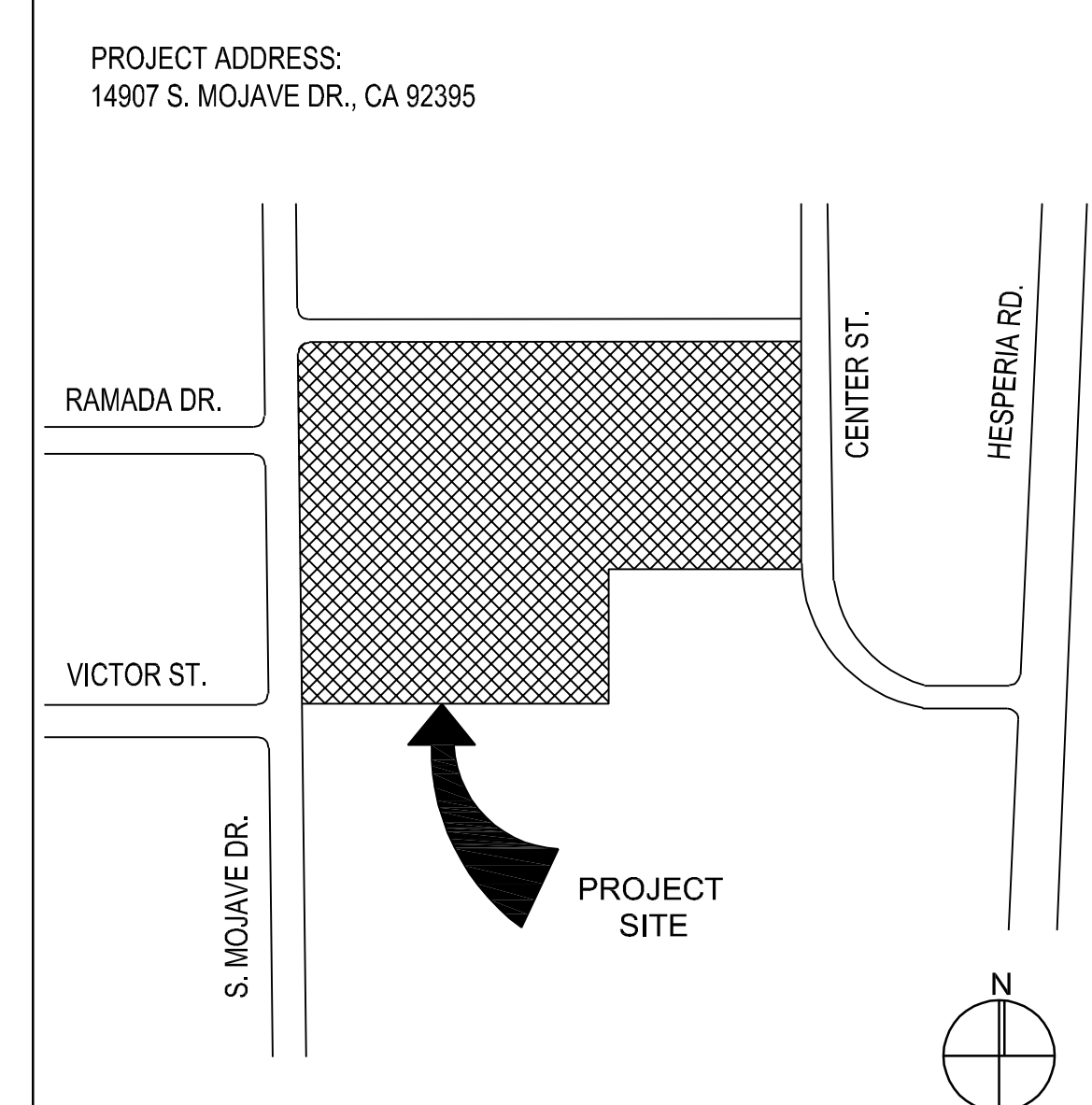
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



CONSULTANT			

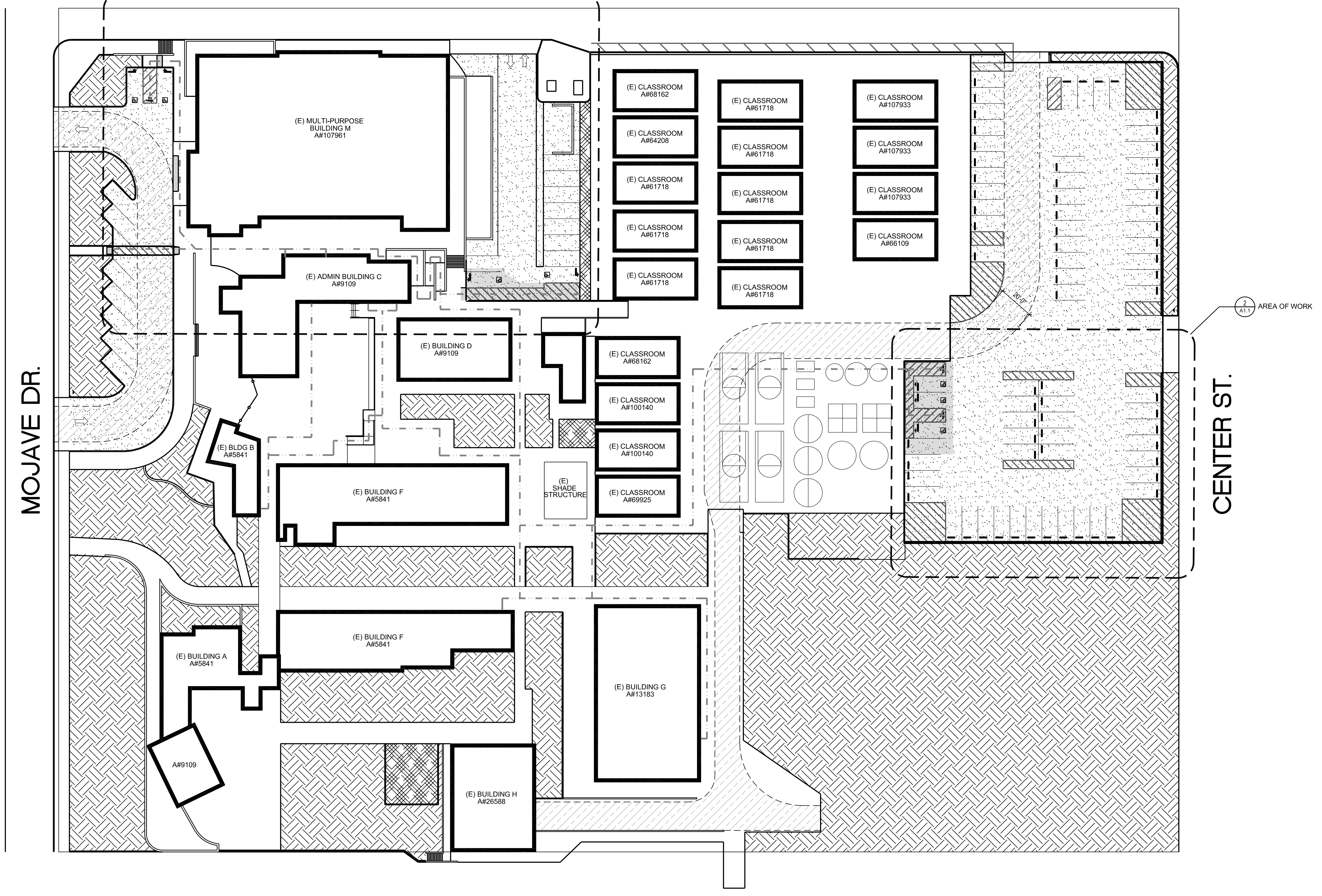
NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

GENERAL NOTES & PROJECT DIRECTORY

DRAWING NUMBER: A0.1

AREA OF WORK
1
A1.1



AREA OF WORK
2
A1.1

TOTAL PARKING SPACES = 9	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 1	7	1	1	9

PARK CALCULATION - LOT A

TOTAL PARKING SPACES = 11	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 4	9	1	1	11

PARK CALCULATION - LOT B

TOTAL PARKING SPACES = 68	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
ACCESSIBLE PARKING SPACE REQ'D = 3	65	2	1	68

PARK CALCULATION - LOT C

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

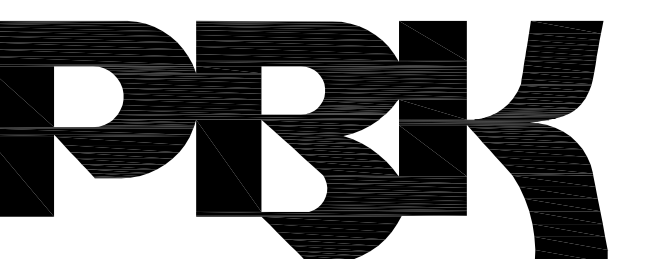
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

(E) P.D.T.

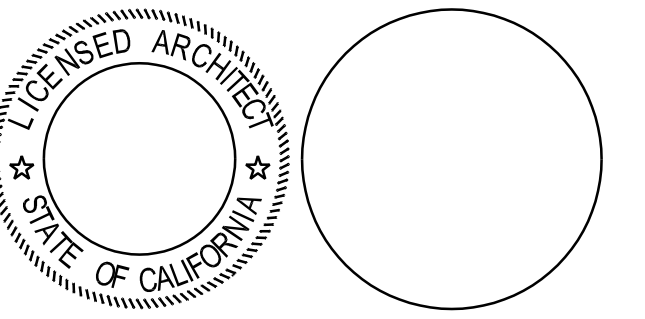
PATH OF TRAVEL

	AREA OF SLURRY COAT, STRIPING, & PAVEMENT
	AREA OF GRIND AND OVERLAY.
	(E) LANDSCAPE
	(E) FIRE LANE 20'-0" MIN CLR



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**IRWIN ACADEMY SCHOOL OF PERFORMING ARTS
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
14907 S. MOJAVE DR.
VICTORVILLE, CA 92395



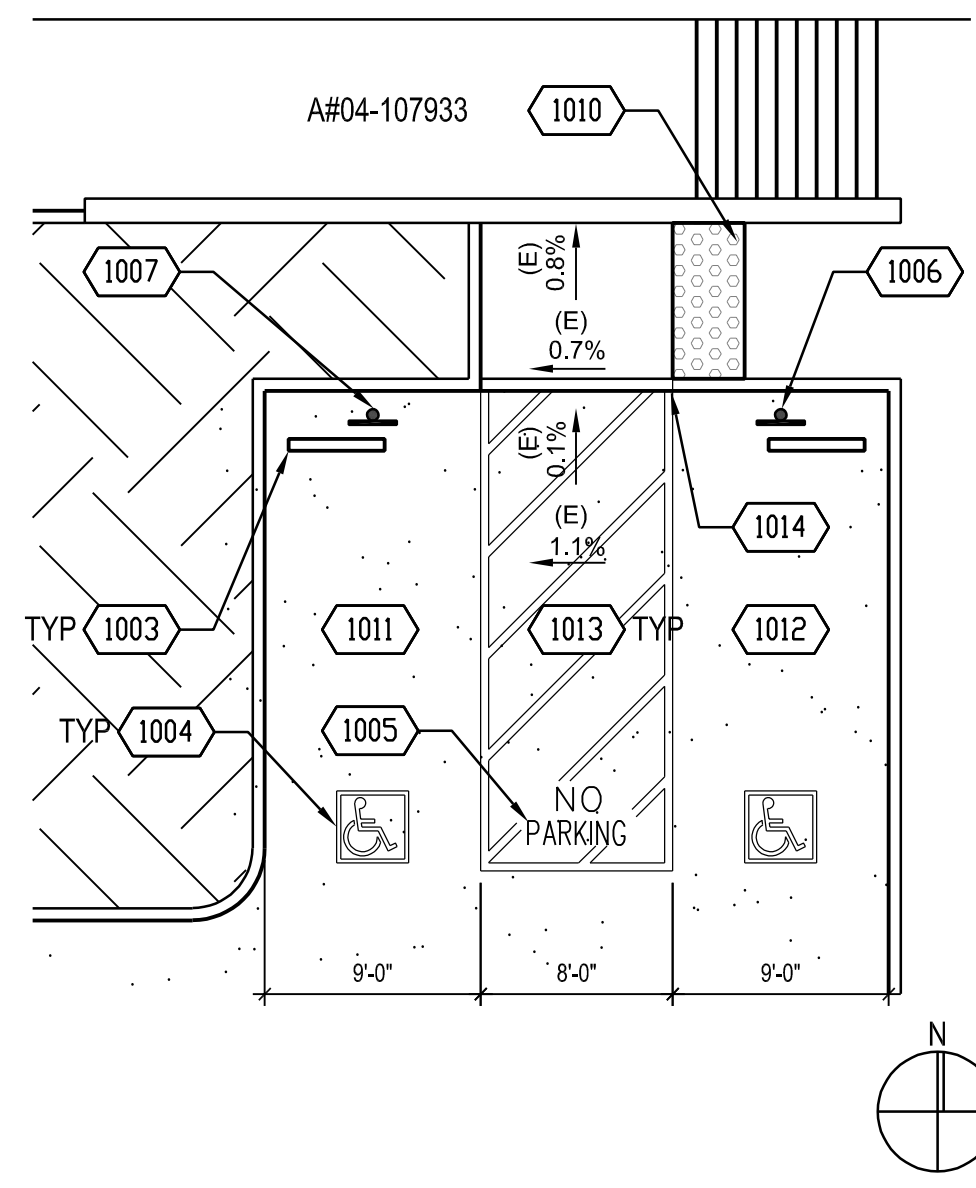
CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: CHECKED:
DATE: 02/24/2023 SCALE:
PROJECT NUMBER: 000000

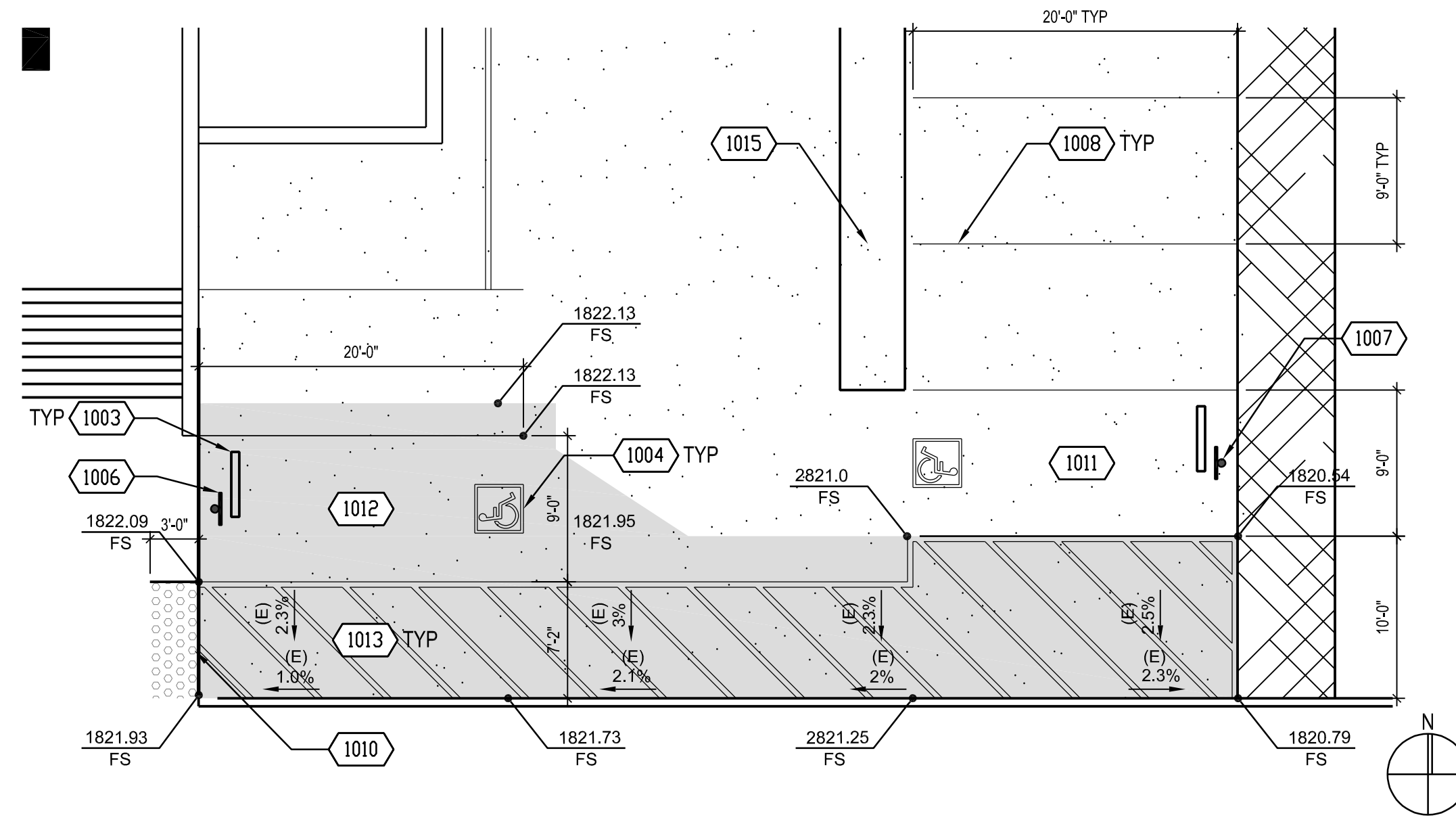
OVERALL SITE PLAN

DRAWING NUMBER: **A1.0**



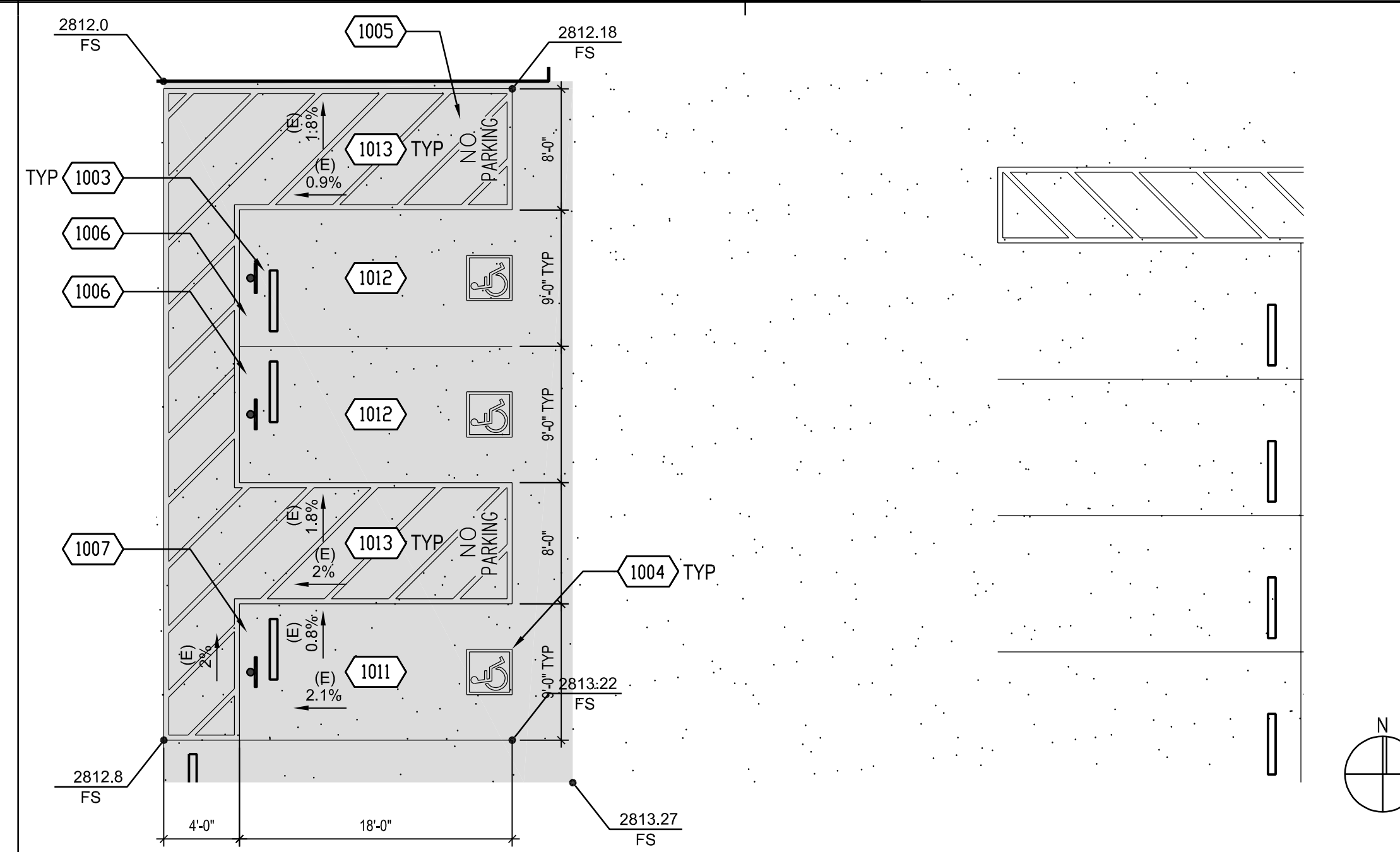
ENLARGED ACCESSIBLE
PARKING - LOT A

1/8" = 1'-0" 5



ENLARGED ACCESSIBLE PARKING - LOT B

1/8" = 1'-0" 4



ENLARGED ACCESSIBLE PARKING - LOT C

1/8" = 1'-0" 3

TOTAL PARKING SPACES = 9	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE		
ACCESSIBLE PARKING SPACE REQ'D = 1	7	1	1	9

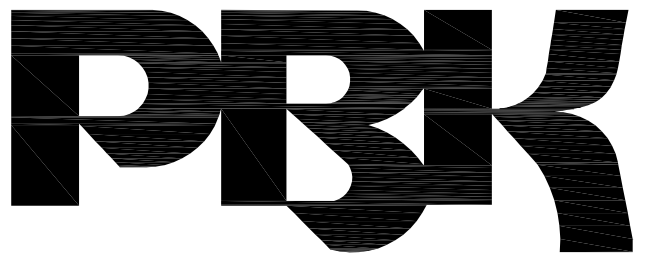
PARK CALCULATION - LOT A

TOTAL PARKING SPACES = 11	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE		
ACCESSIBLE PARKING SPACE REQ'D = 4	9	1	1	11

PARK CALCULATION - LOT B

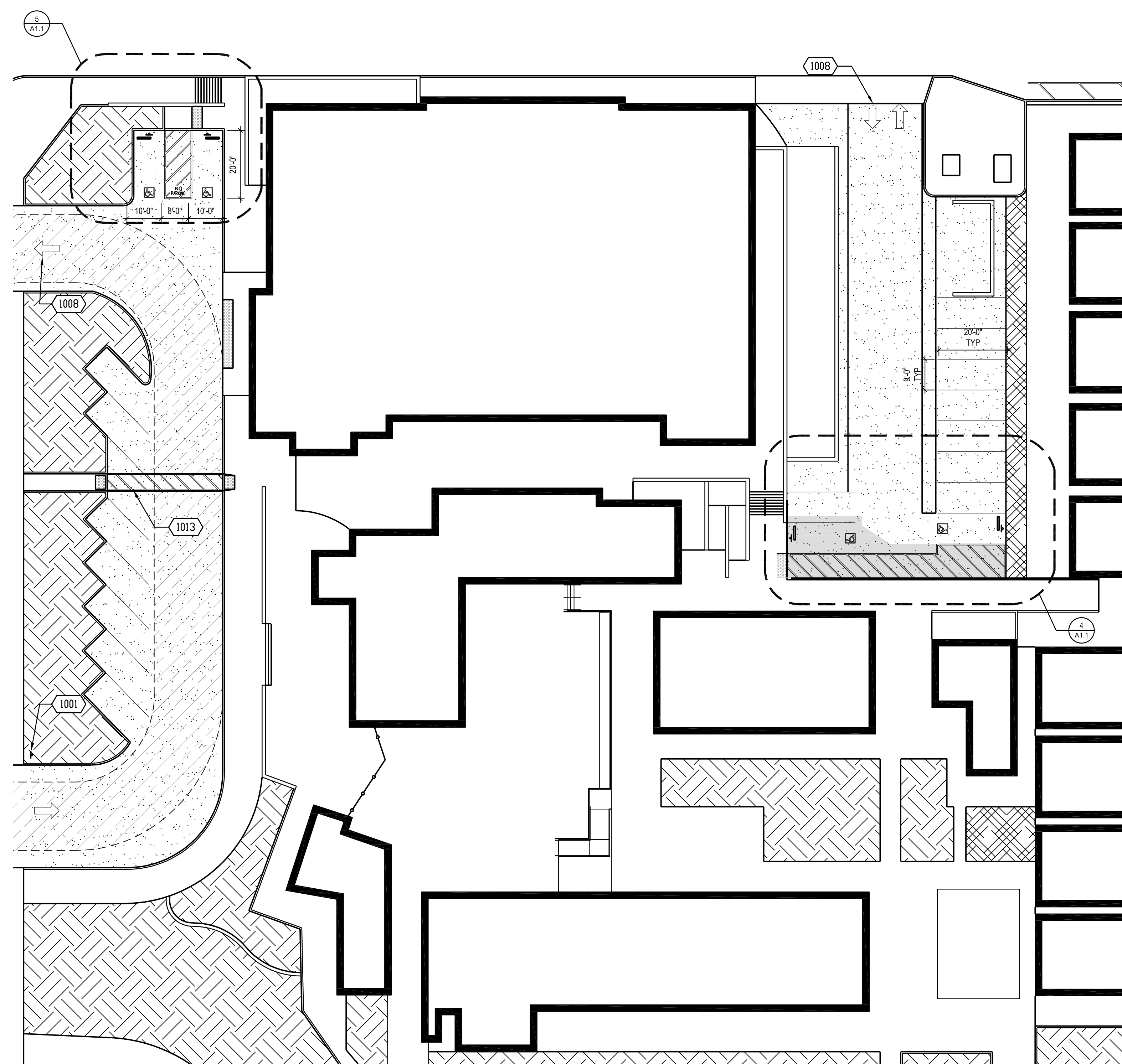
TOTAL PARKING SPACES = 68	STALL TYPE			TOTAL
	STANDARD	ACCESSIBLE		
ACCESSIBLE PARKING SPACE REQ'D = 3	65	2	1	68

PARK CALCULATION - LOT C



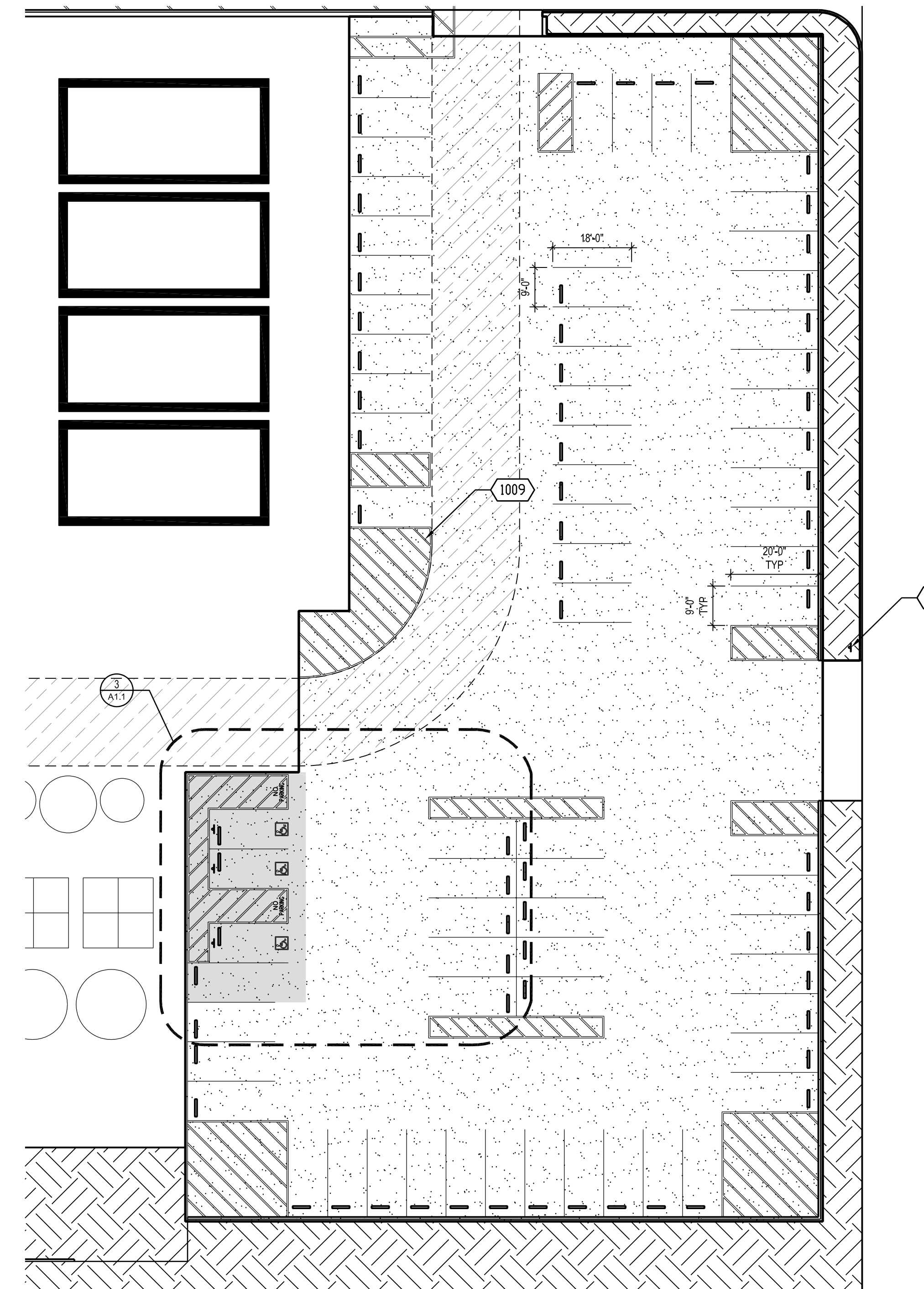
RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

IRWIN ACADEMY SCHOOL OF PERFORMING ARTS
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
14907 S. MOJAVE DR.
VICTORVILLE, CA 92395



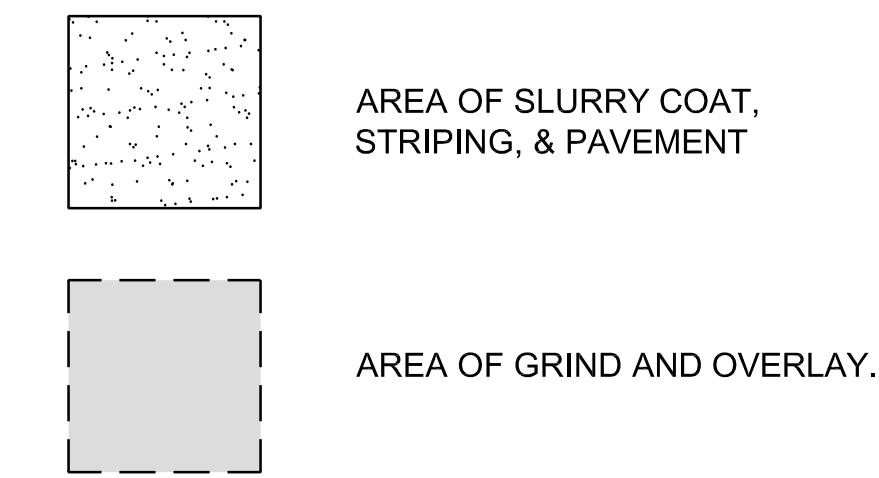
ENLARGED SITE PLAN - LOT A & B

1" = 20'-0" 1



ENLARGED SITE PLAN - LOT C

1" = 20'-0" 2

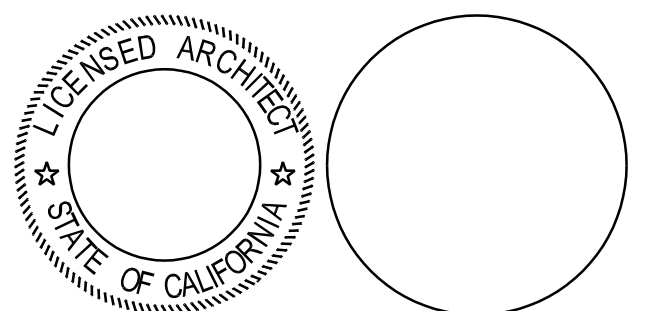


SITE LEGEND

- 1001 (E) TOW-AWAY SIGN.
- 1002 4" WIDE WHITE PAVEMENT STRIPING.
- 1003 (E) WHEEL STOP, RELOCATE AS REQUIRED.
- 1004 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
- 1005 12" H PAINTED WHITE TEXT.
- 1006 ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
- 1007 VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
- 1008 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
- 1009 4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
- 1010 (E) TRUNCATED DOMES.
- 1011 VAN ACCESSIBLE PARKING, REF DETAIL 15/A1.2.
- 1012 ACCESSIBLE PARKING, REF DETAIL 14/A1.2.
- 1013 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS, 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING
- 1014 FLUSH TRANSITION, REF DETAIL 4/A1.2.
- 1015 (E) CONCRETE GUTTER

REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.



CONSULTANT

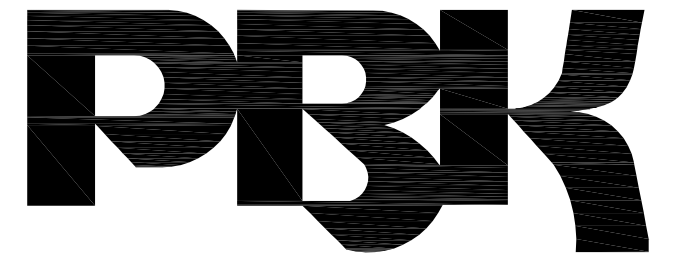
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1	5/1/23	PBK	ADDENDUM 01

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DATE: 02/24/2023 SCALE:
PROJECT NUMBER: 000000

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SITE PLAN

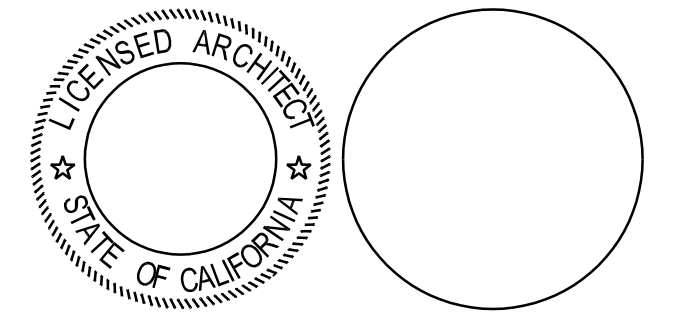
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GENERAL NOTES



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

IRWIN ACADEMY SCHOOL OF PERFORMING ARTS
PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT
 14907 S. MOJAVE DR.
 VICTORVILLE, CA 92395

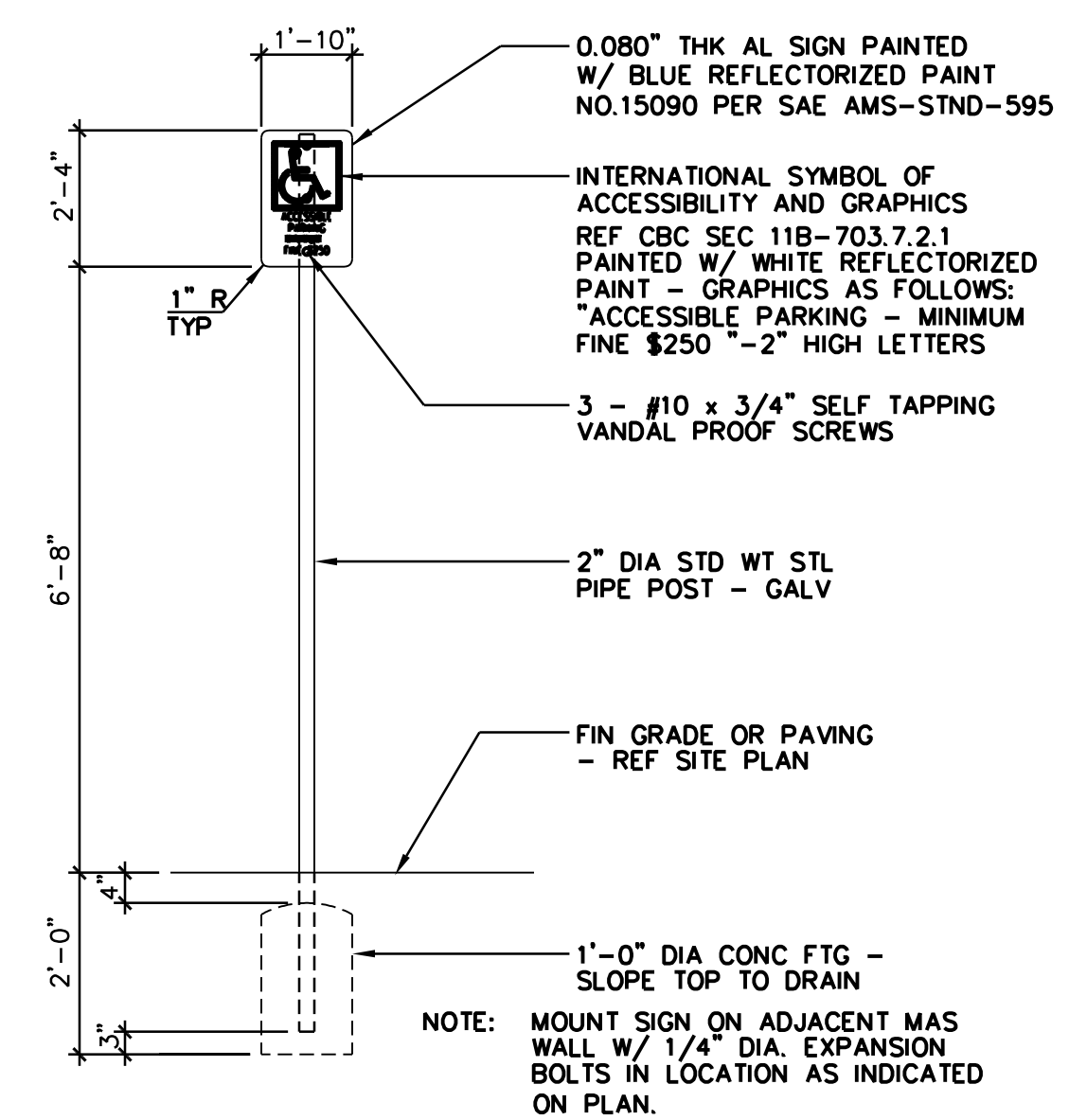
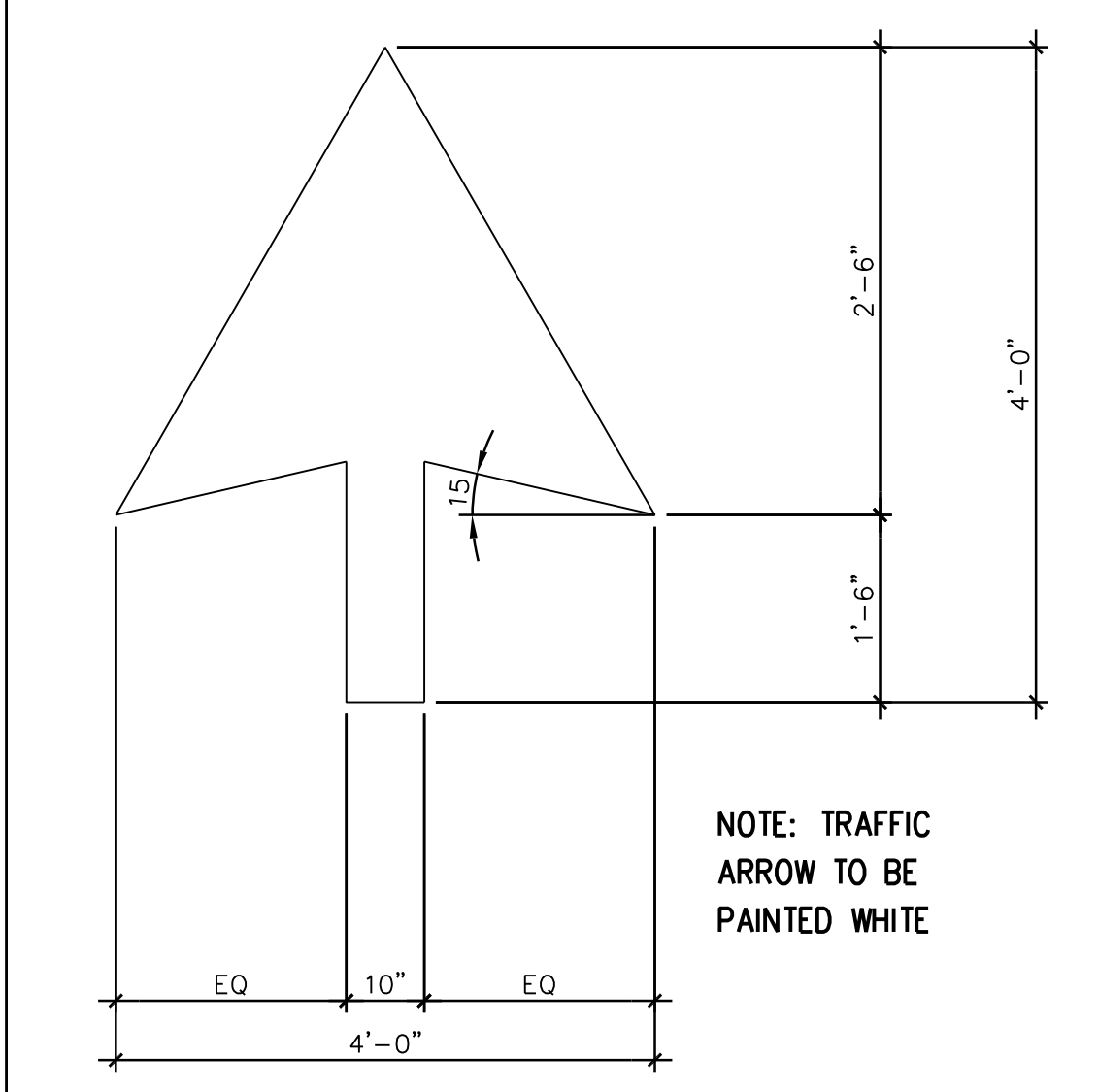


CONSULTANT

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NO	DATE	BY	DESCRIPTION
REVISIONS			
DRAWN: WLC		CHECKED: .	
DATE: 02/24/2023		SCALE: AS NOTED	
PROJECT NUMBER: 000000			

DETAILS

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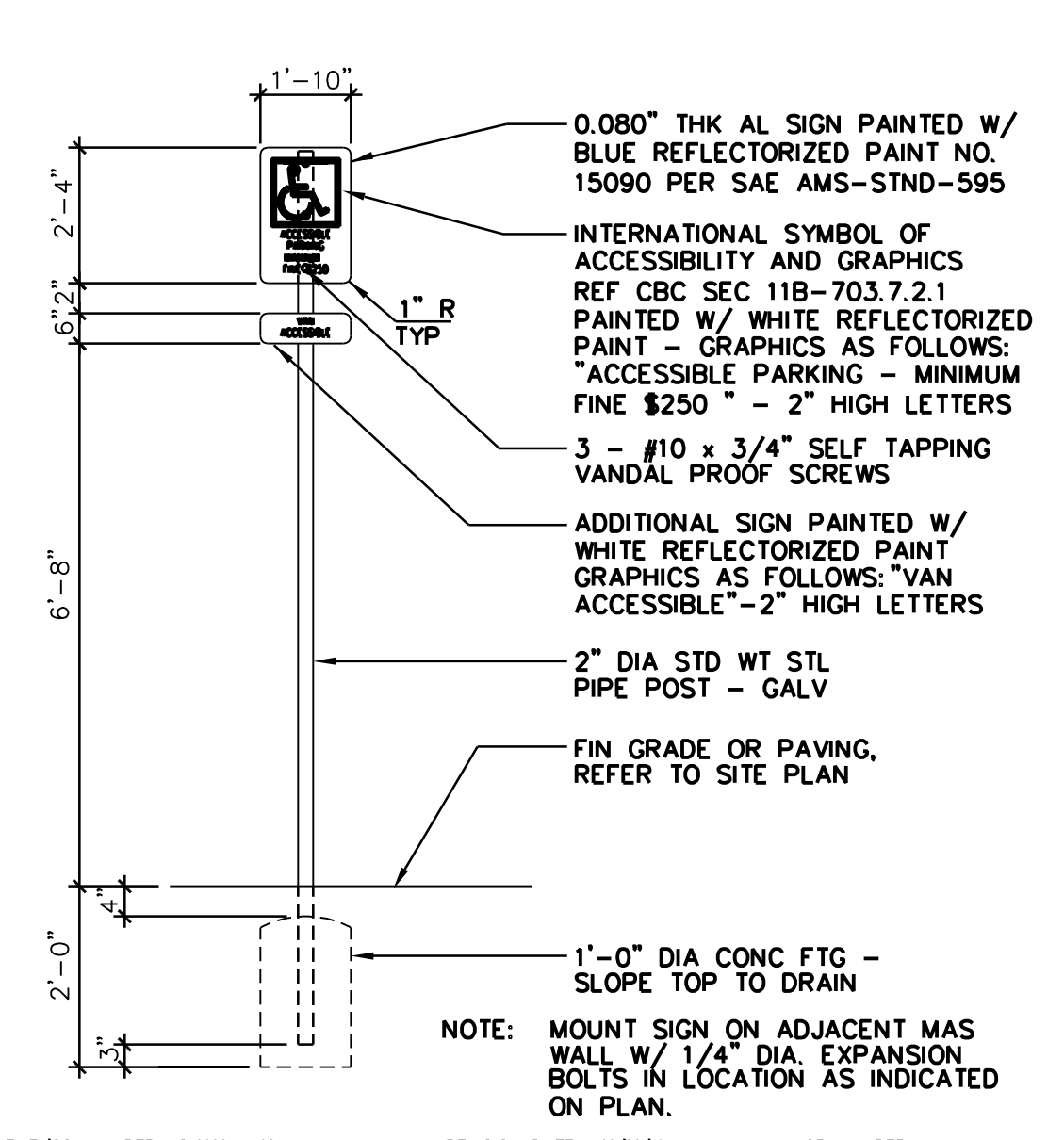
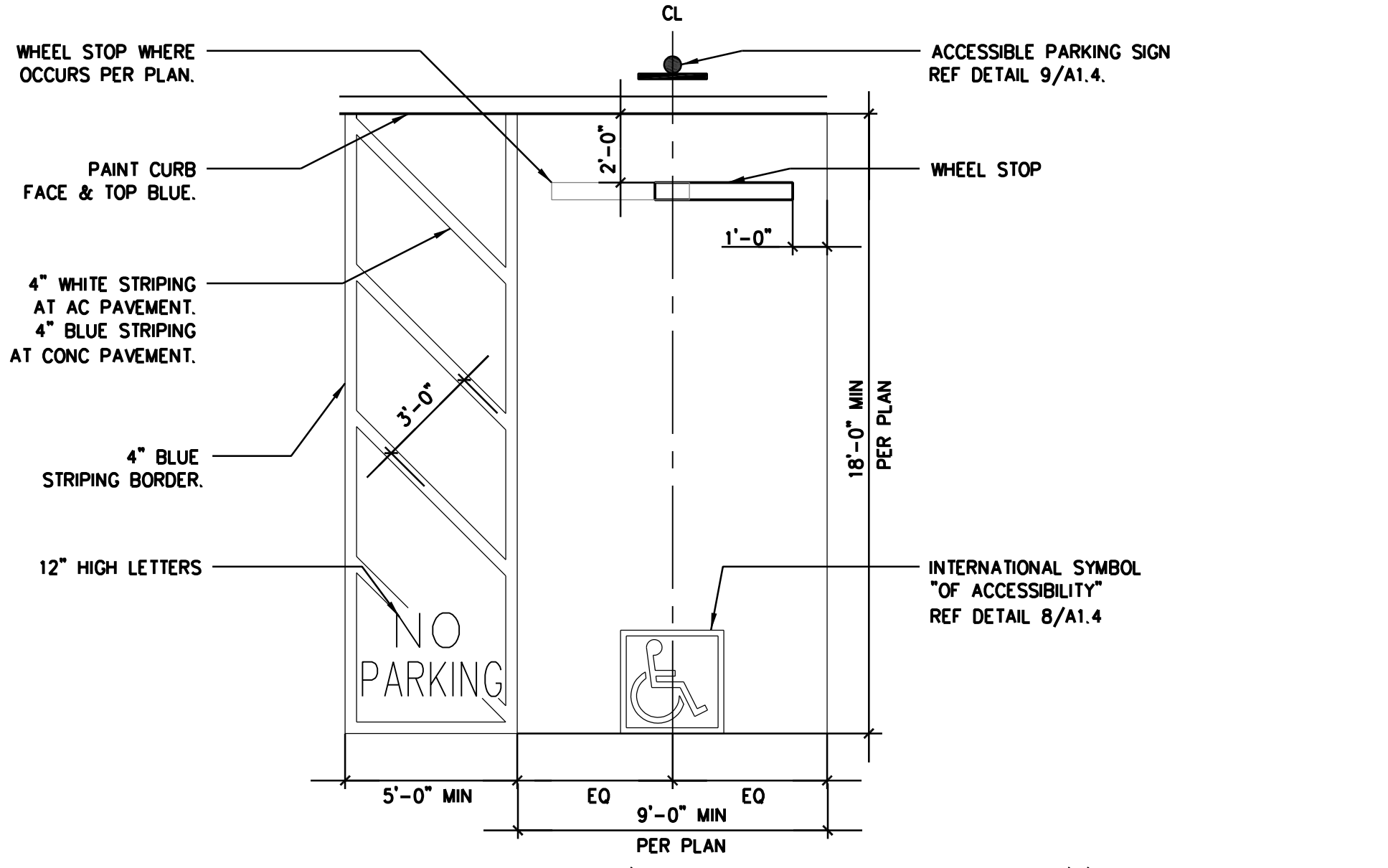


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17 TRAFFIC ARROW 1/2"=1'-0"

13 PARKING SIGN 1/2"=1'-0"

5



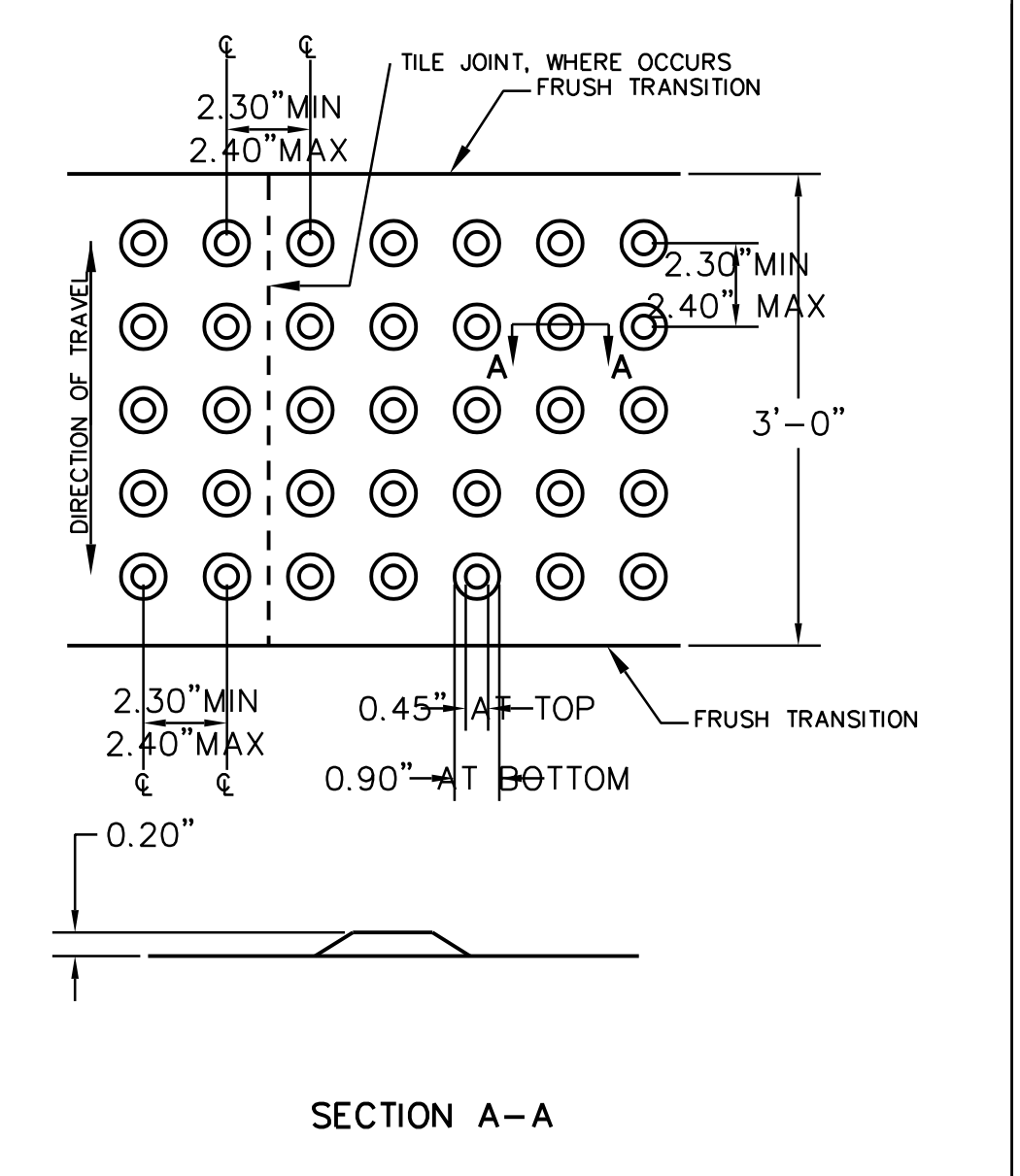
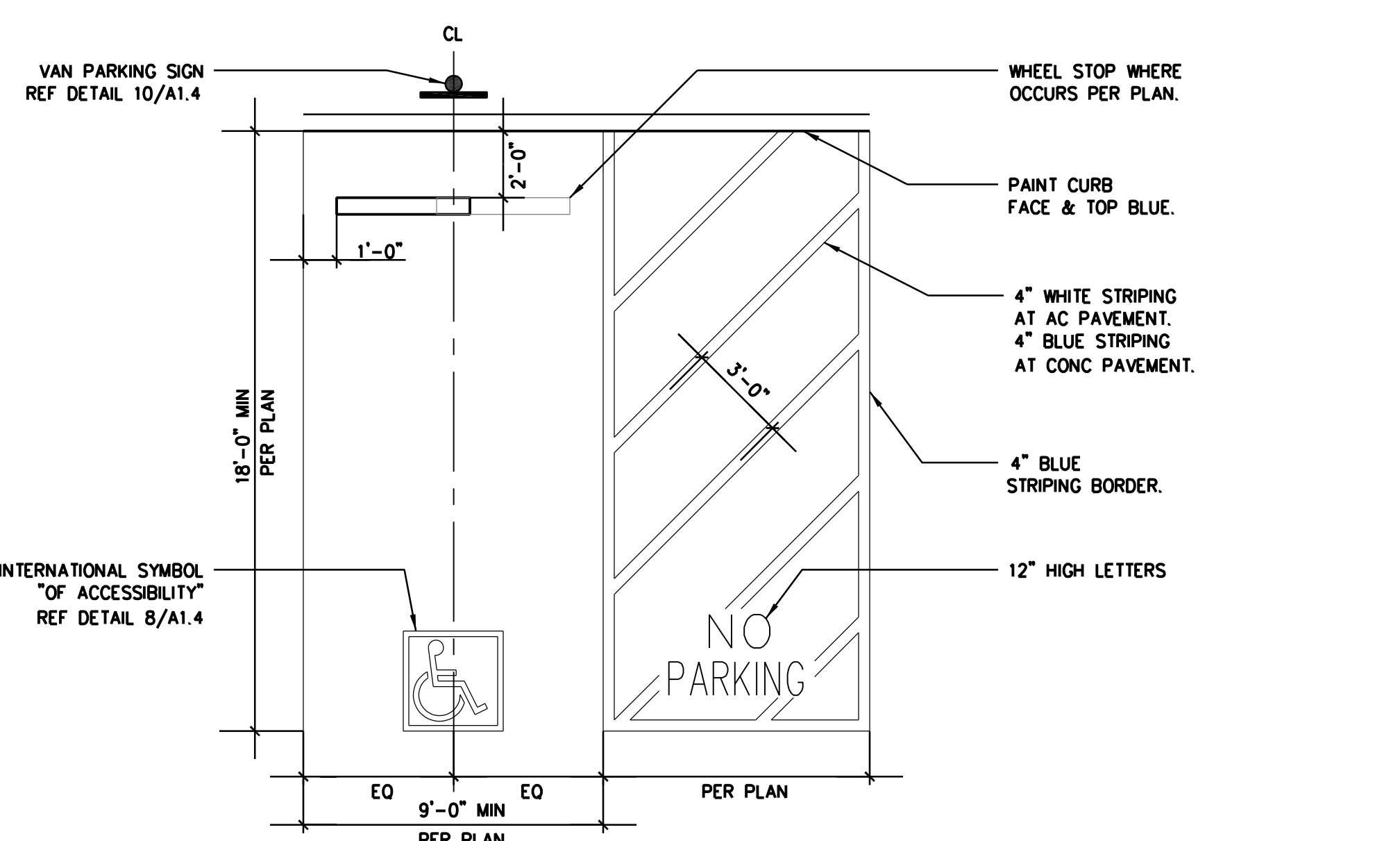
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ACCESSIBLE PARKING 1/4"=1'-0"

14 PARKING SIGN 1/2"=1'-0"

6

2



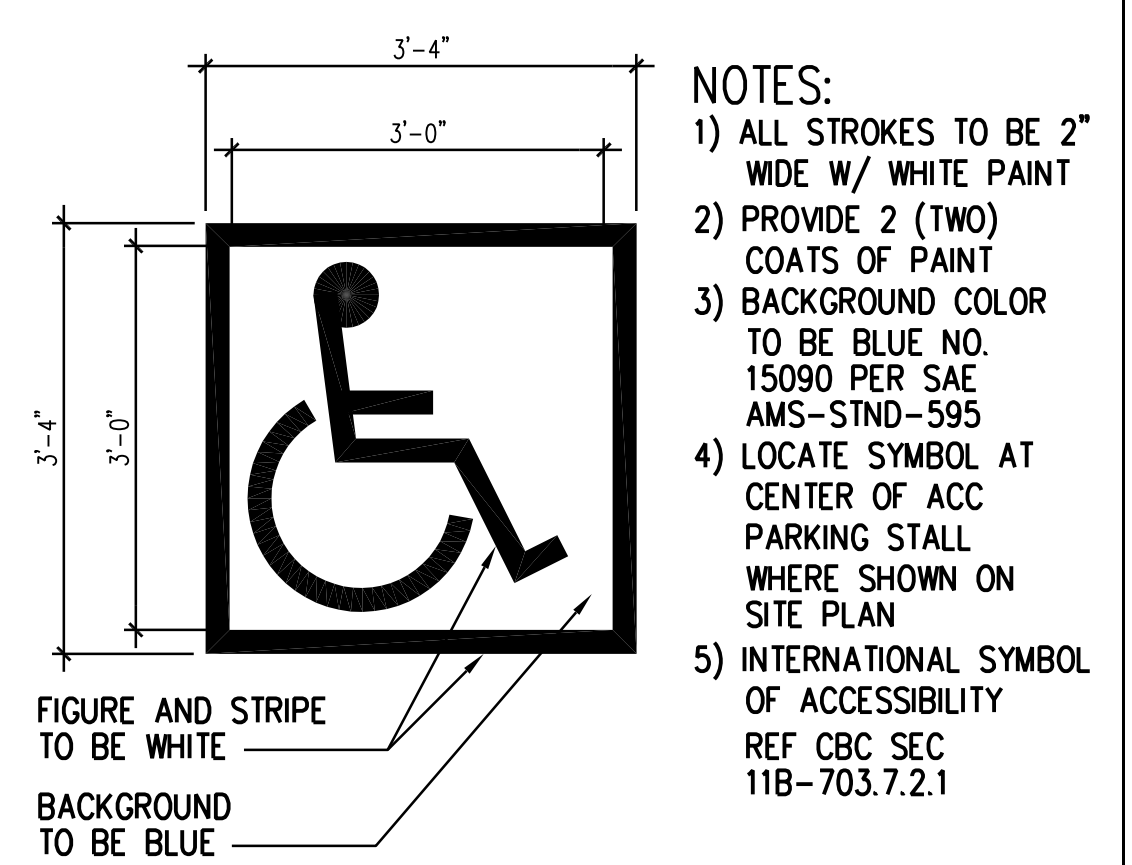
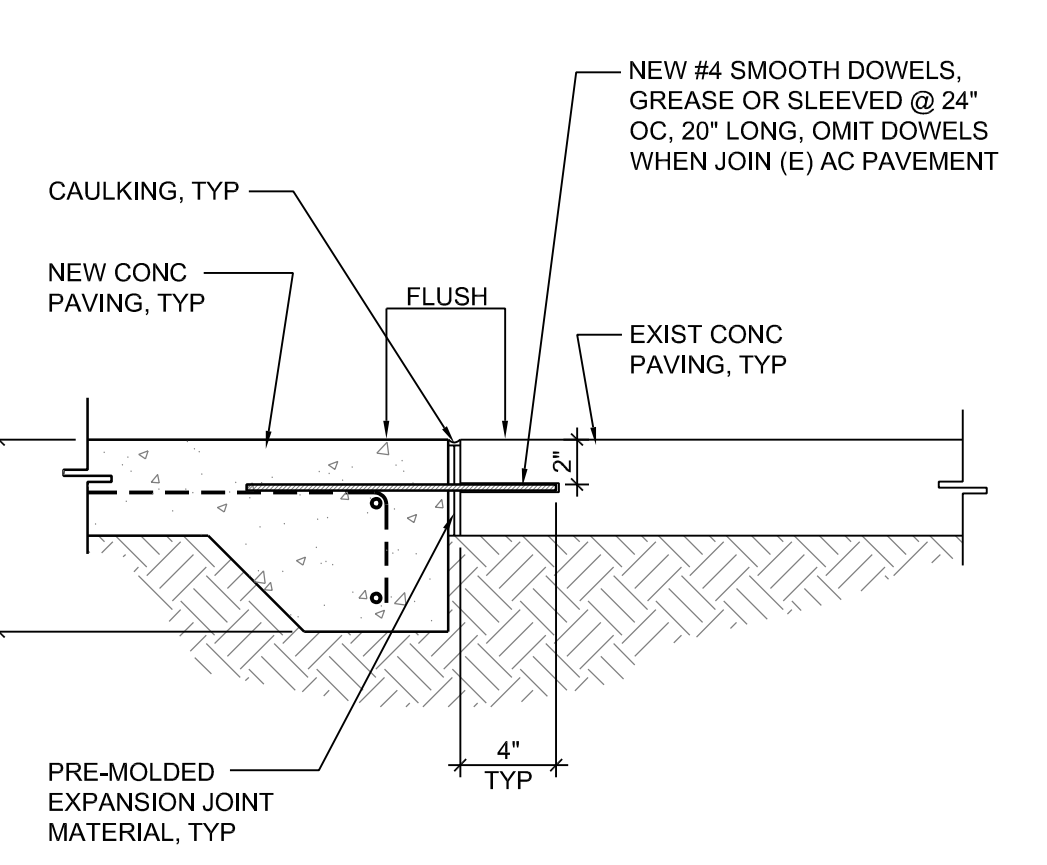
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VAN ACCESSIBLE PARKING 1/4"=1'-0"

11 TRUNCATED DOME DETAIL NTS

7

3



24

CONC PAVING JT W/ EXG CONC 1 1/2"=1'-0"

20

16

12 ACCESS SIGN 3/4"=1'-0"

8

4

LOMITAS ELEMENTARY SCHOOL PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

12571 1ST AVE.

VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.

6. INSPECTOR OF RECORD REQUIREMENTS:
 - A. DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
7. ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
9. CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
10. SOIL BEARING PRESSURE ASSUMED AT : 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
11. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
12. PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
13. GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
14. GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
15. ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
16. ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
17. FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

18. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CCD MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. THE CCD SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGE ORDER.
19. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
 - 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
 - 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
 - 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
 - 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
 - 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
 - 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
 - 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
 - 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
 - CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
 - 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.

SHEET INDEX

DRAWING REF NO	DESCRIPTION
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 4	

PROJECT TEAM

PROJECT ADDRESS
LOMITAS ELEMENTARY SCHOOL
12571 1ST AVE.,
VICTORVILLE, CA 92395
PHONE: 760-243-2012

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

**LOMITAS ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
 12571 1ST AVE.
 VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

REVISION
3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

--- CENTER LINES, FLOOR LINES AND LEVEL LINES

--- SECTION LINES

--- PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCL	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOL	OWNER FURNISHED - OWNER INSTALLED
EA	EACH	SCHED	SCHEDULE
CL	CHAIN LINK	SHT MTL	SHEET METAL
CLR	CLEAR(ANCE)	SLP	SLOPE
CLRM	CLASSROOM	STD	STANDARD
CONC	CONCRETE	STL	STEEL
DEMO	DEMOLISH, DEMOLITION	TYP	TYPICAL
EJ	EXPANSION JOINT	W/	WITH
GA	GAGE		
GALV	GALVANIZED		

GOVERNING AGENCIES

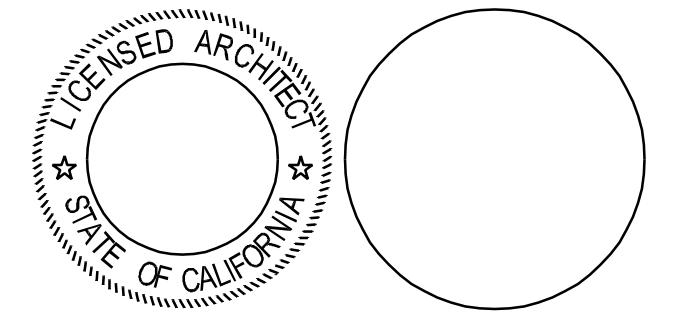
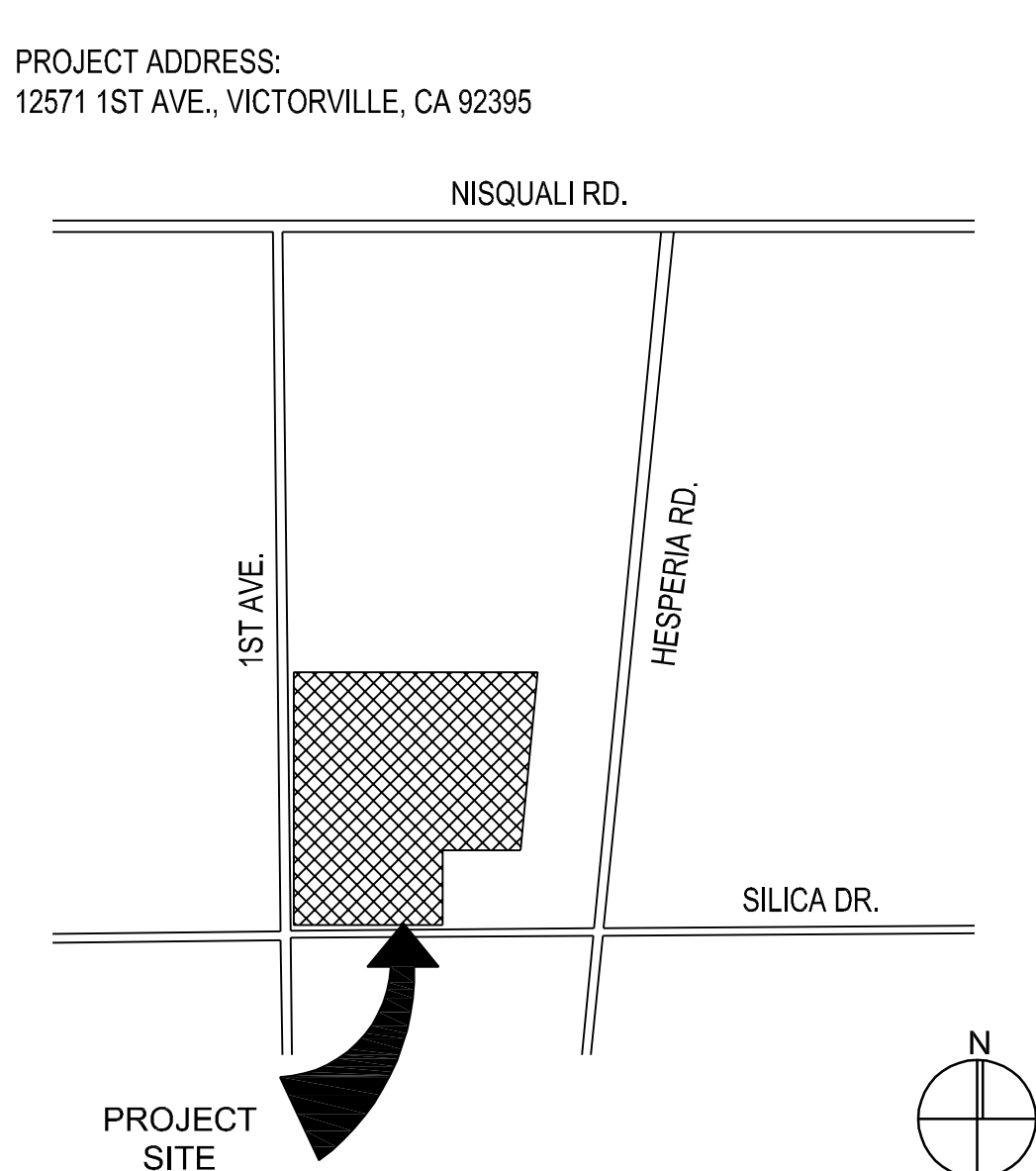
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



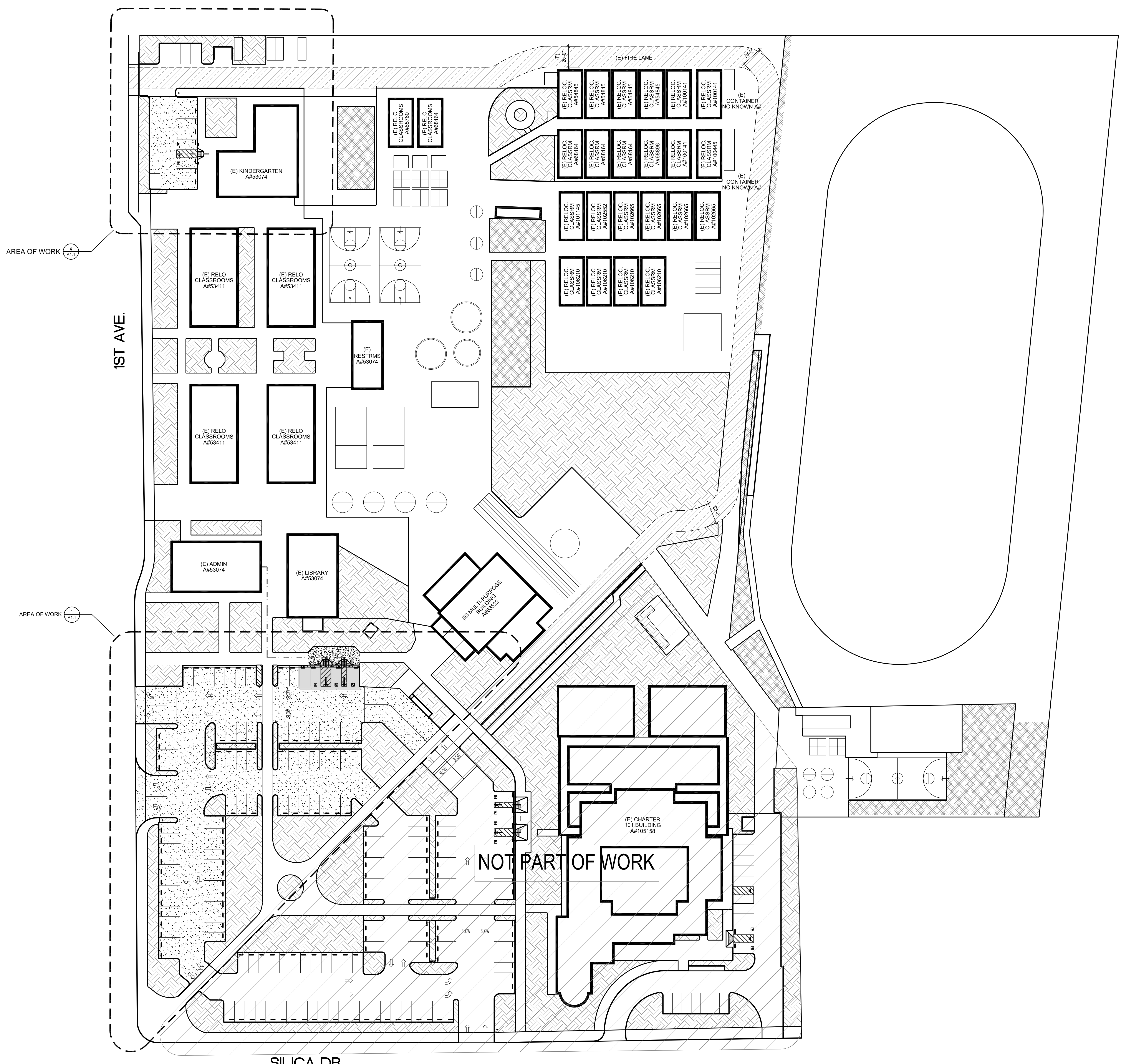
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1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

GENERAL NOTES & PROJECT DIRECTORY

DRAWING NUMBER: A0.1



TOTAL PARKING SPACES = 12	STALL TYPE		
ACCESSIBLE PARKING SPACE REQ'D = 1	STANDARD	ACCESSIBLE	TOTAL
	10	1	11

PARK CALCULATION - LOT A

TOTAL PARKING SPACES = 72	STALL TYPE		
ACCESSIBLE PARKING SPACE REQ'D = 3	STANDARD	ACCESSIBLE	TOTAL
	69	2	71

PARK CALCULATION - LOT B

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

(E) P.D.T.
(N) P.D.T.

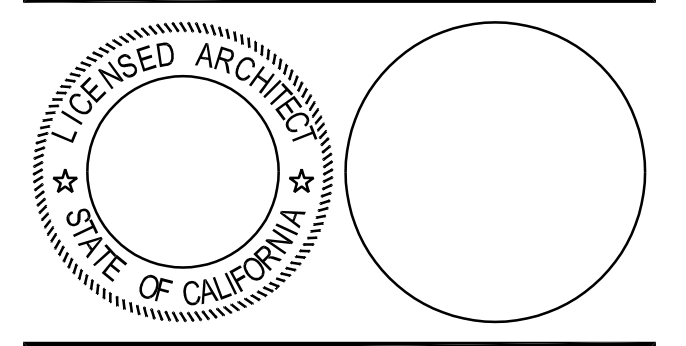
PATH OF TRAVEL

- AREA OF SLURRY COAT, STRIPING, & PAVEMENT
- AREA OF GRIND AND OVERLAY.
- CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK.
- (E) LANDSCAPE (NO WORK)
- (E) FIRE LANE 20'-0" MIN CLR



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**LOMITAS ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL**
VICTOR ELEMENTARY SCHOOL DISTRICT
12571 1ST AVE
VICTORVILLE, CA 92395



CONSULTANT

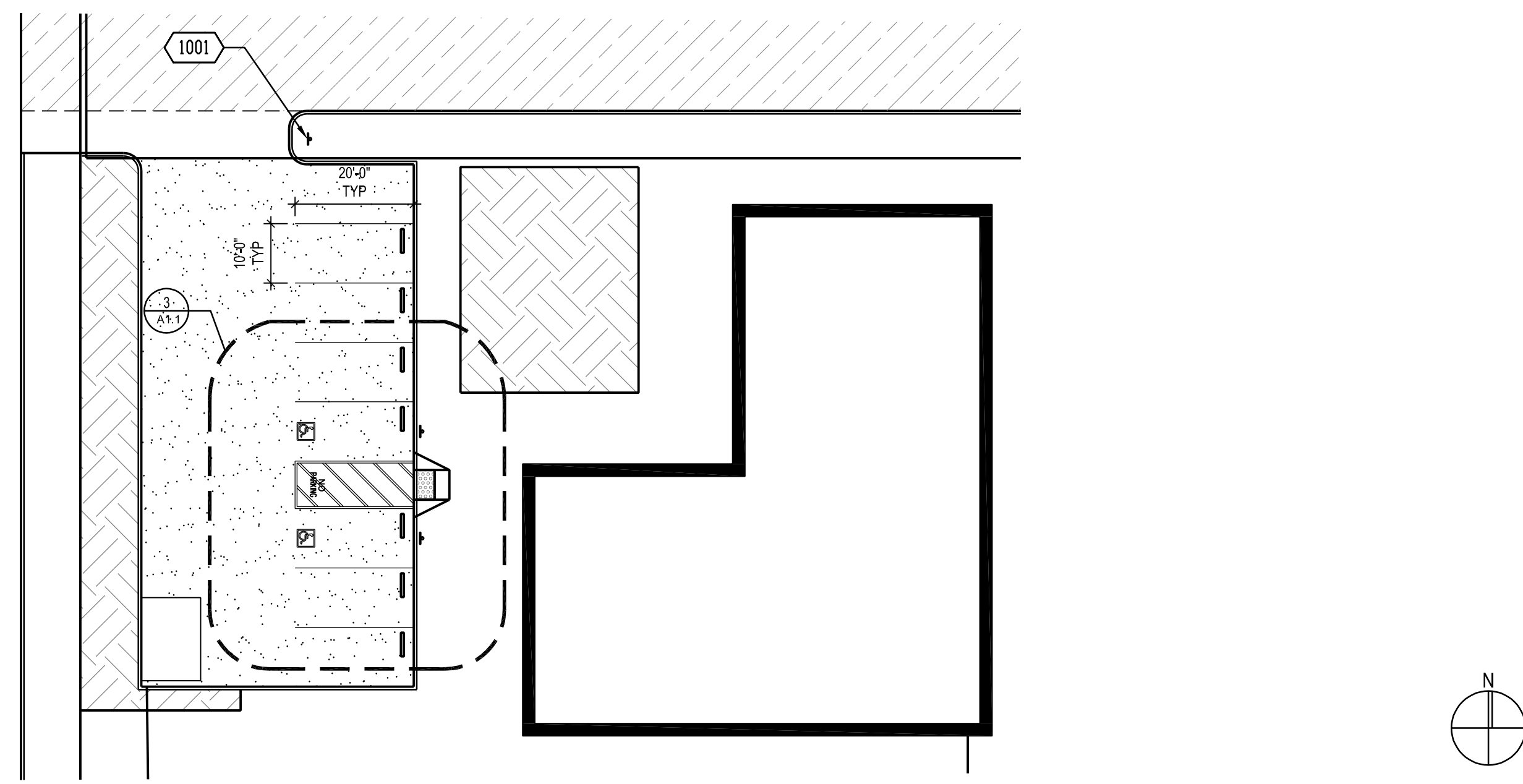
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REVISIONS			

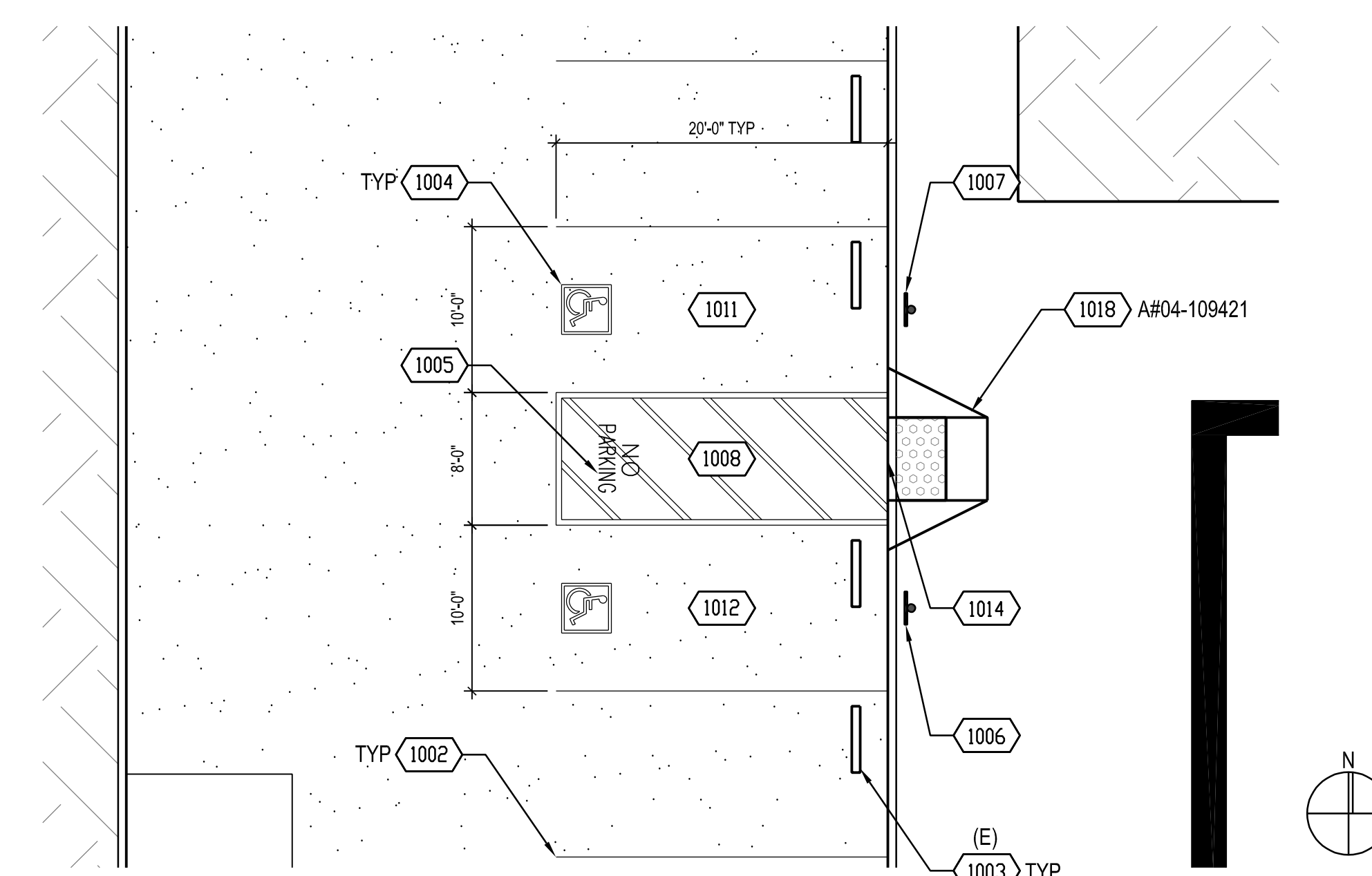
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DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

OVERALL SITE PLAN

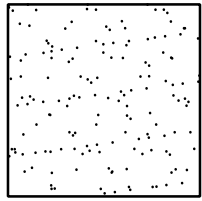
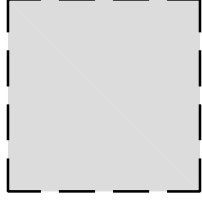
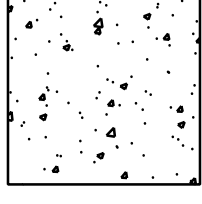
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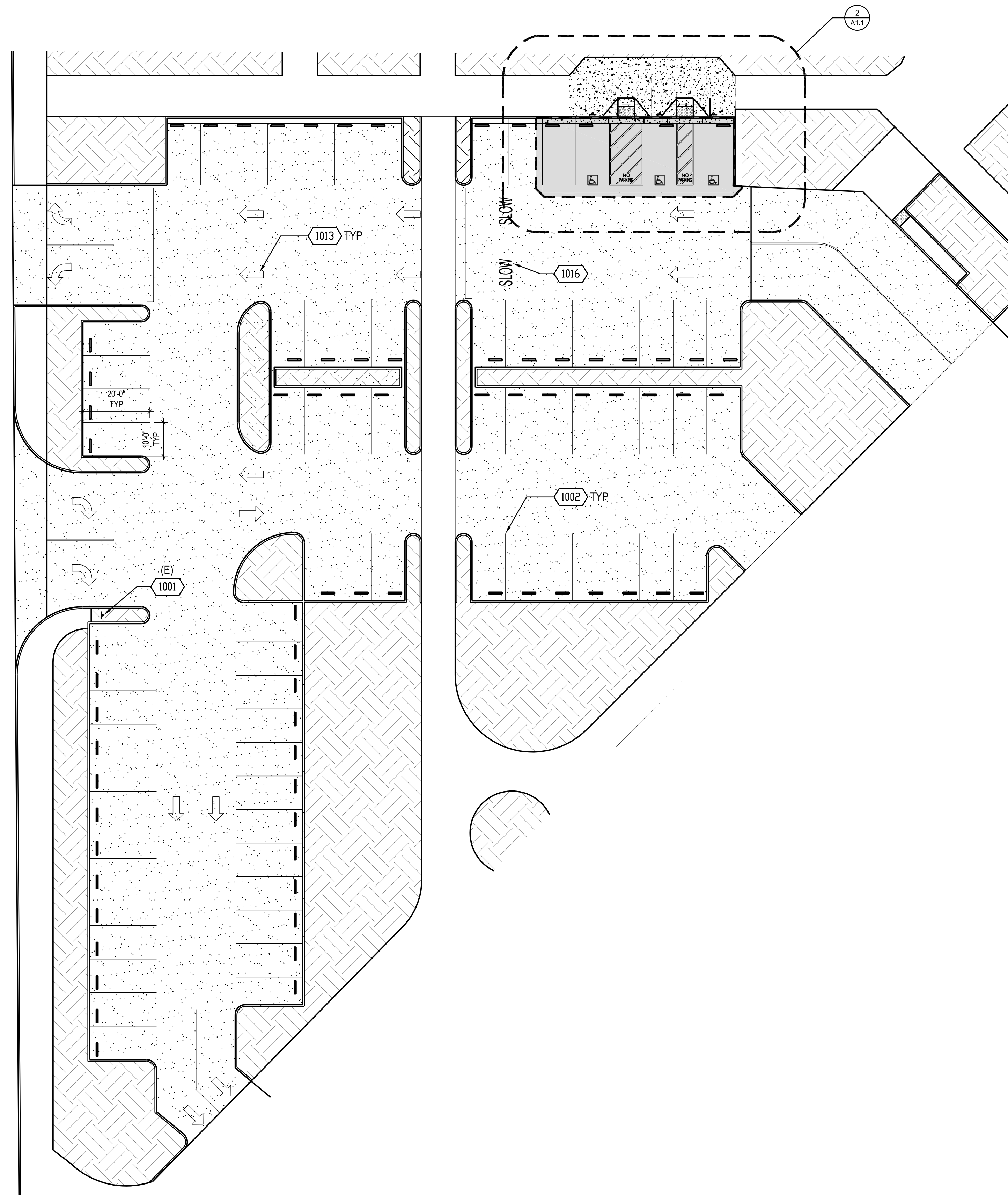
ENLARGED SITE PLAN - LOT A 1"=20'-0" 4



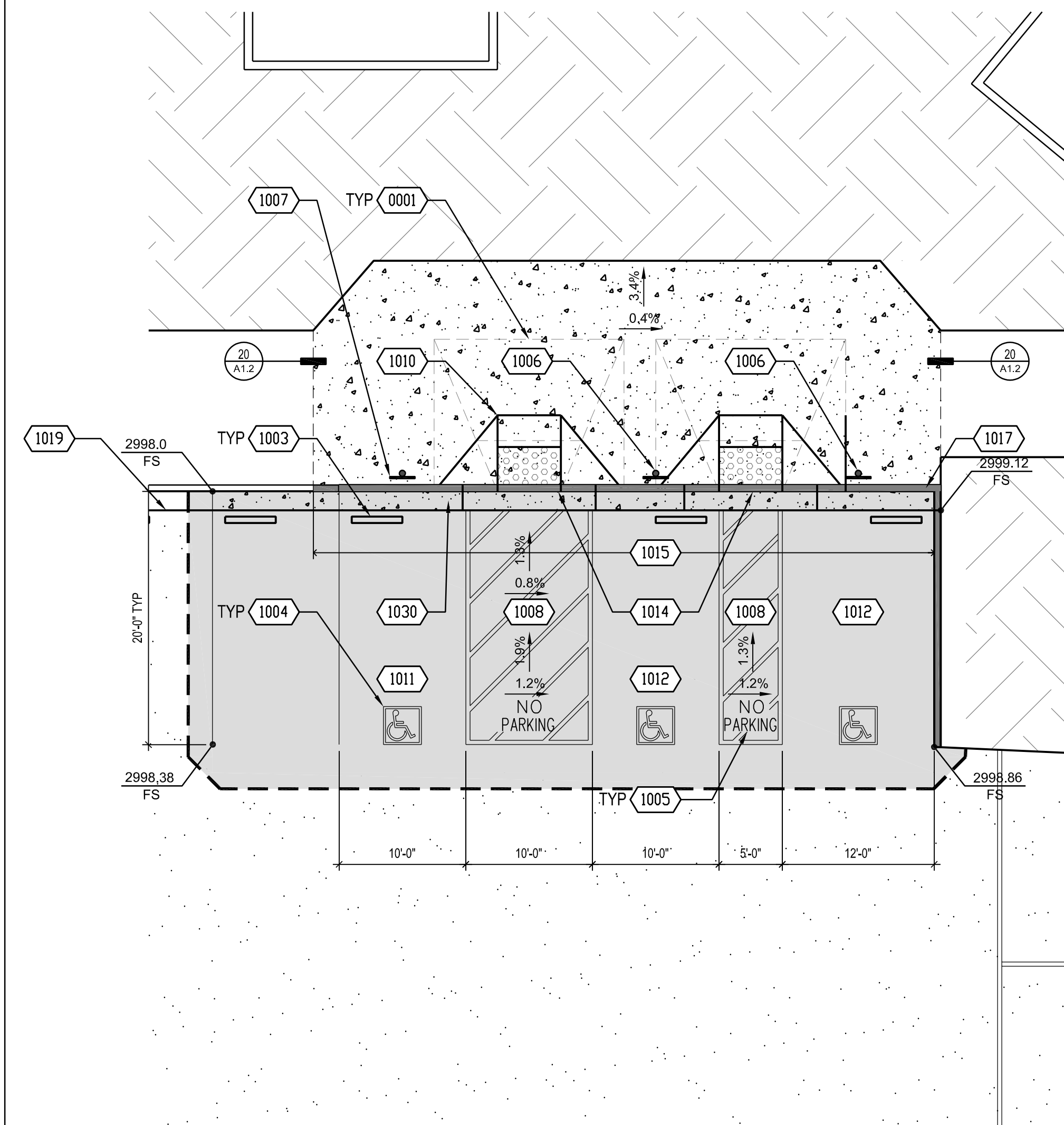
ENLARGED ACCESSIBLE - LOT A 1/8"=1'-0" 3

- SITE LEGEND**
-  AREA OF SLURRY COAT, STRIPING, & PAVEMENT
 -  AREA OF GRIND AND OVERLAY.
 -  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C., EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK. PROVIDE EXPANSION JOINTS (EJ) AT 20'-0" MAX INTERVALS, AND CONTROL JOINTS AT 5'-0" MAX INTERVAL BETWEEN EJ.

SITE LEGEND



ENLARGED SITE PLAN - LOT B 1"=20'-0" 1

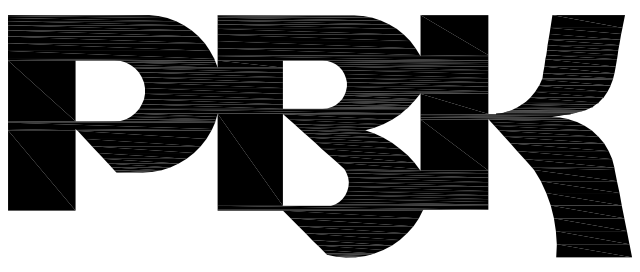


ENLARGED ACCESSIBLE PARKING - LOT B 1/8"=1'-0" 2

- 10001 DEMO (E) CURB RAMP, TYP 2.
- 10001 (E) TOW-AWAY SIGN.
- 10002 4" WIDE WHITE PAVEMENT STRIPING.
- 10003 (E) WHEEL STOP, RELOCATE AS REQUIRED.
- 10004 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
- 10005 12" H PAINTED WHITE TEXT.
- 10006 ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
- 10007 VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
- 10008 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
- 10009 4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
- 10100 CONC CURB RAMP, REF DETAIL 6/A1.2.
- 10101 VAN ACCESSIBLE PARKING STALL, REF DETAIL 15/A1.2.
- 10102 ACCESSIBLE PARKING STALL, REF DETAIL 14/A1.2.
- 10103 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
- 10104 FLUSH TRANSITION, REF DETAIL 4/A1.2.
- 10105 6" CONCRETE CURB AND GUTTER, REF TO DETAIL 17/A1.2.
- 10106 4'-0" H PAINTED WHITE TEXT.
- 10107 PAINT TOP OF CURB AND CURB FACE BLUE.
- 10108 (E) CURB RAMP.
- 10109 (E) CONCRETE GUTTER, REF DETAIL 17/A1.2.

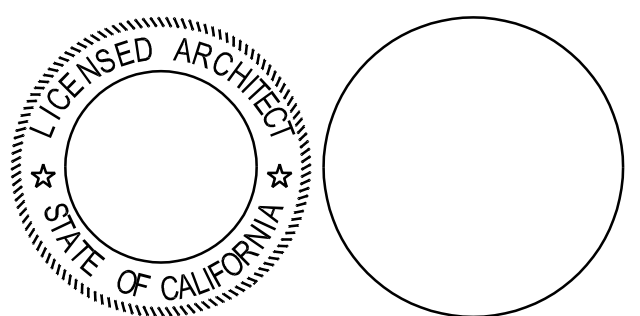
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12571 1ST AVE
VICTORVILLE, CA 92395



CONSULTANT

1 5/1/23 PBK ADDENDUM 01

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: CHECKED:

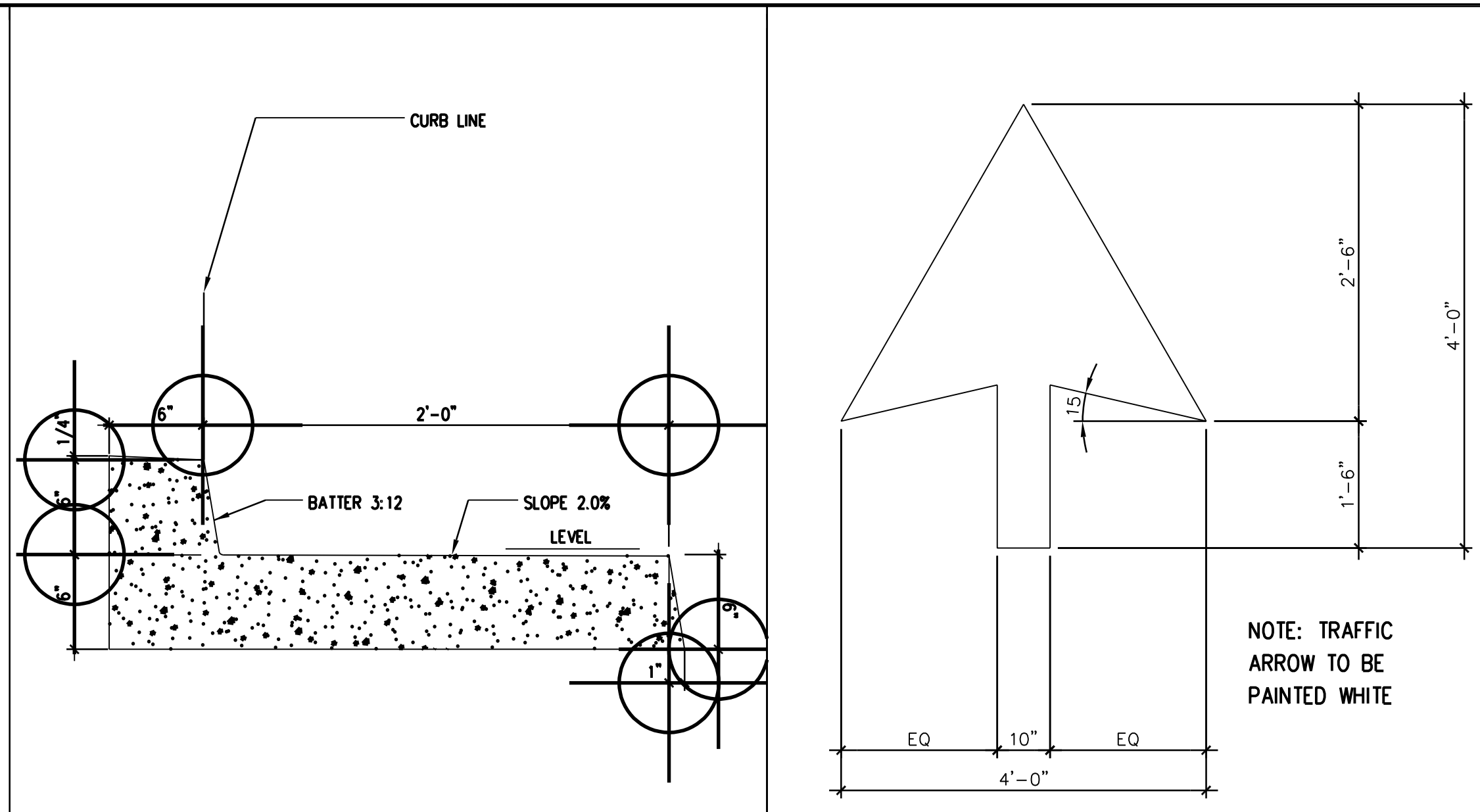
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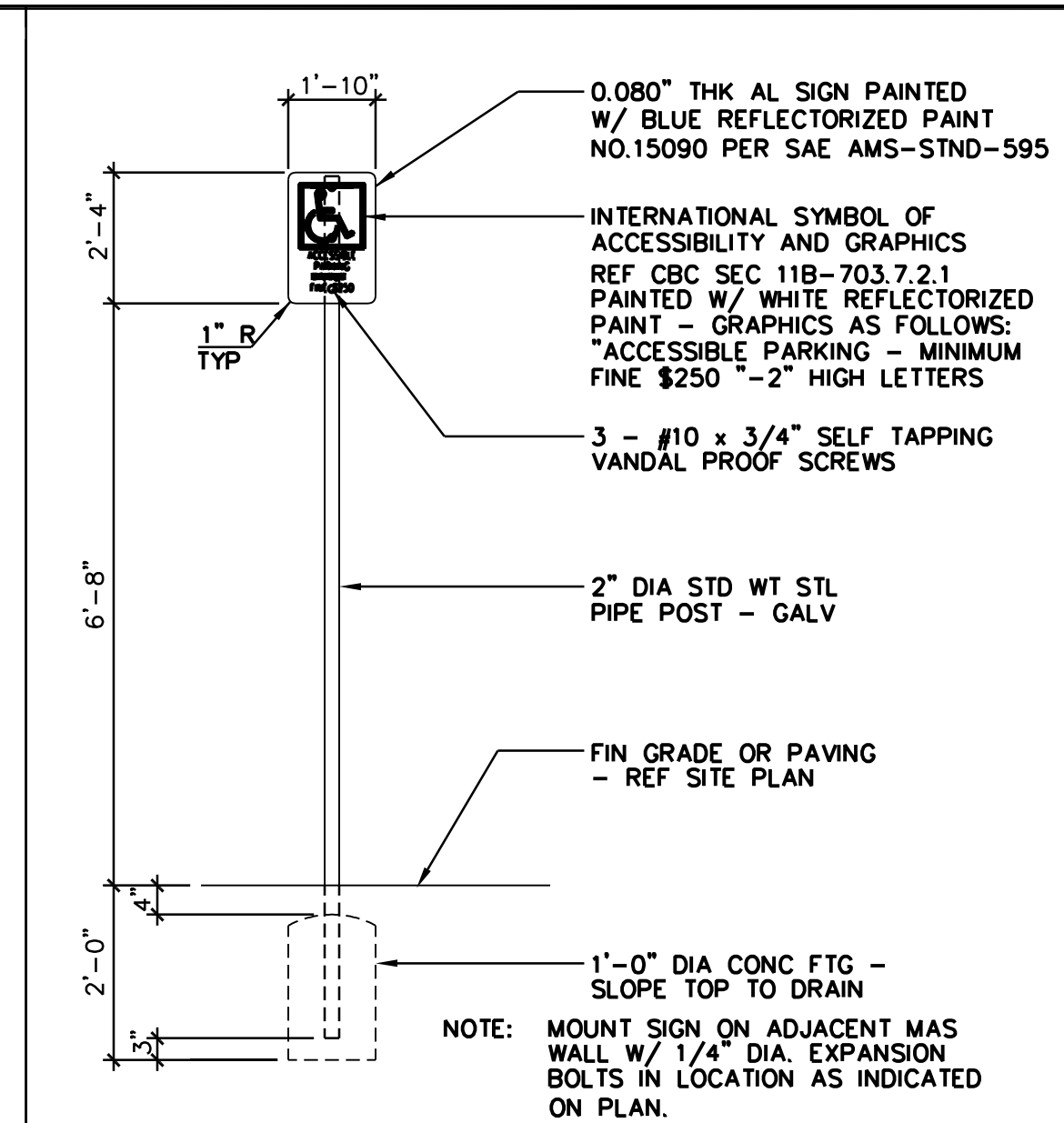
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SITE PLAN**

DRAWING NUMBER: **A1.1**

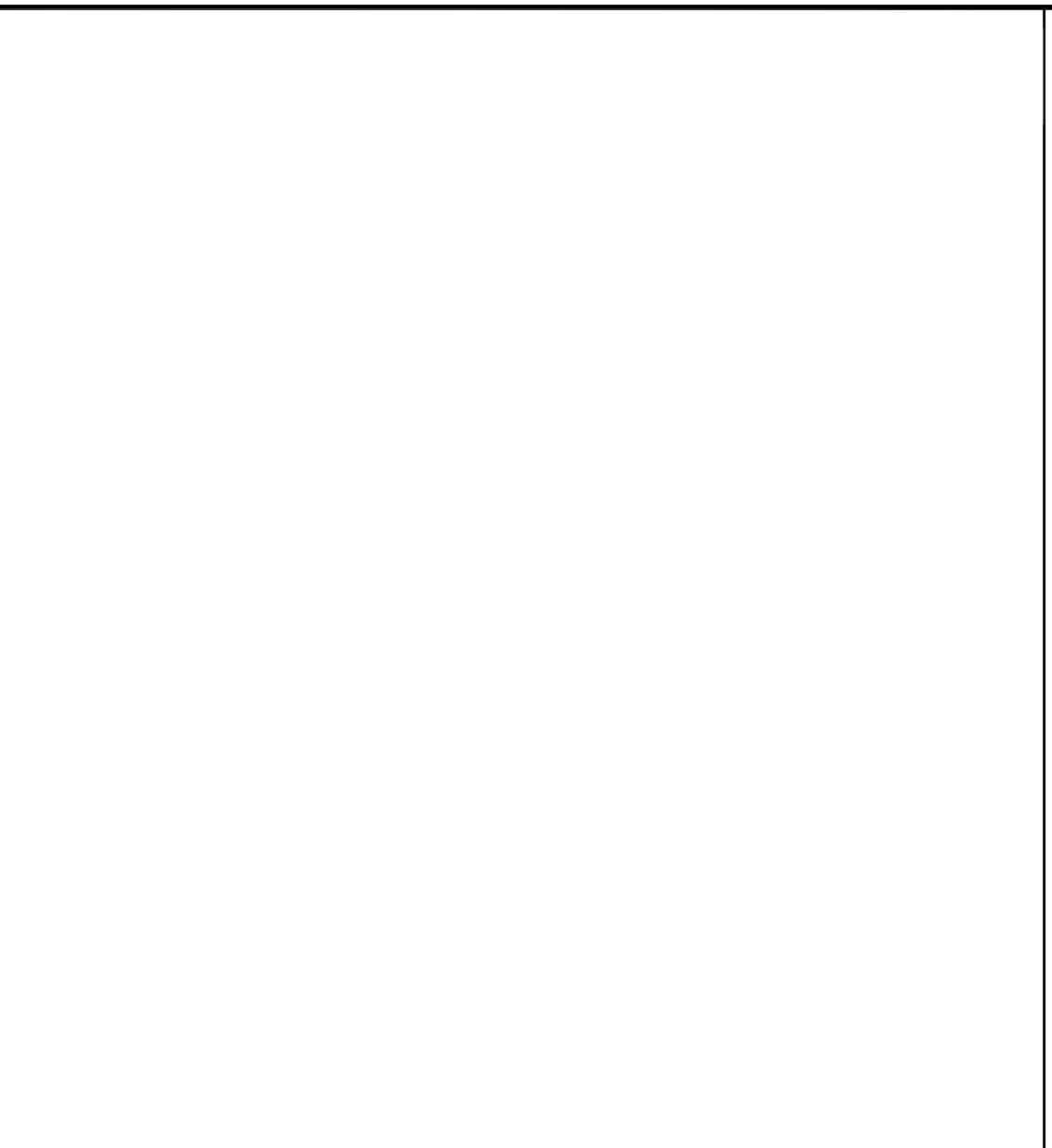
GENERAL NOTES



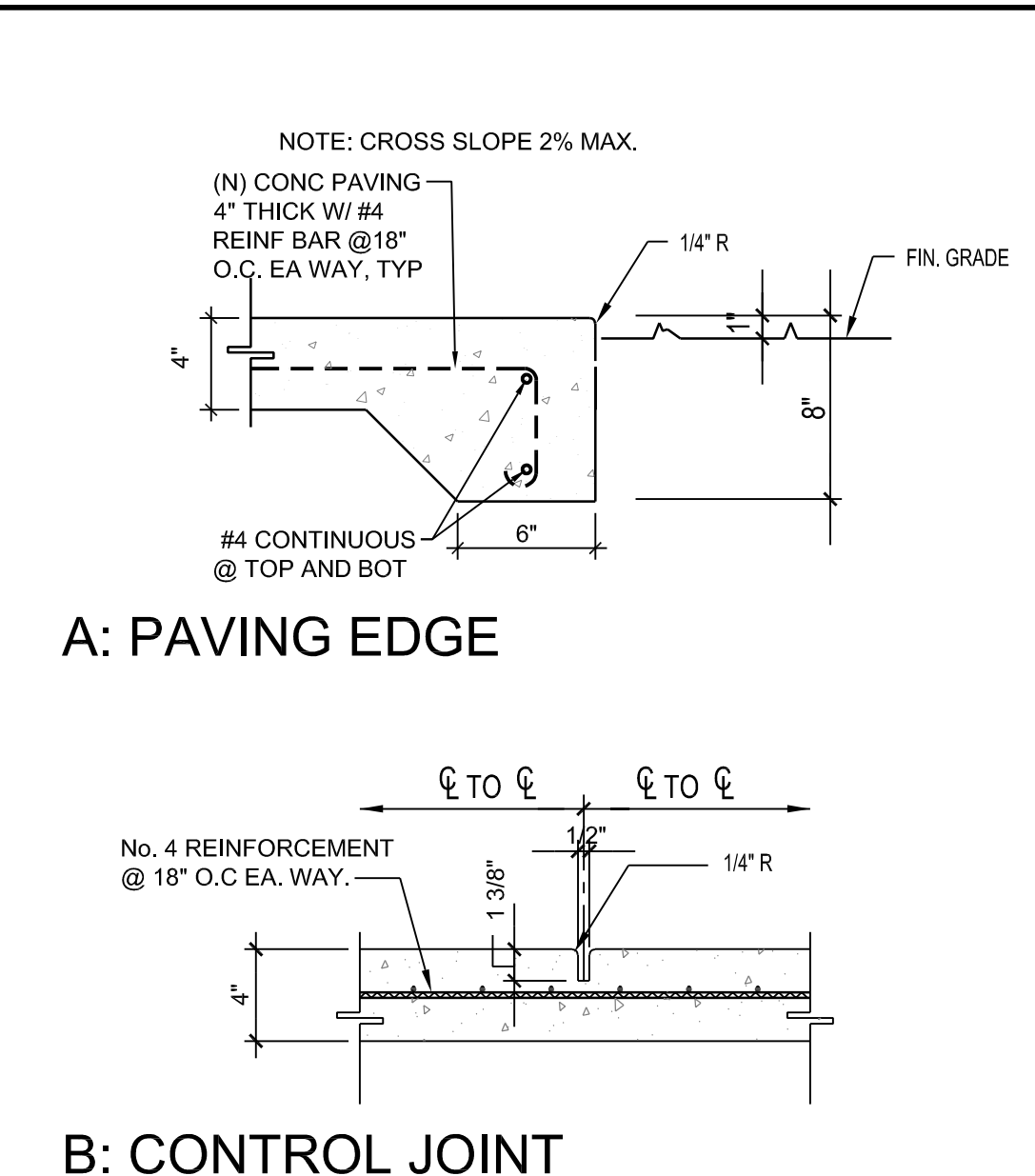
21 CURB AND GUTTER 1 1/2"=1'-0" 17 TRAFFIC ARROW 1/2"=1'-0" 13 PARKING SIGN 1/2"=1'-0" 9



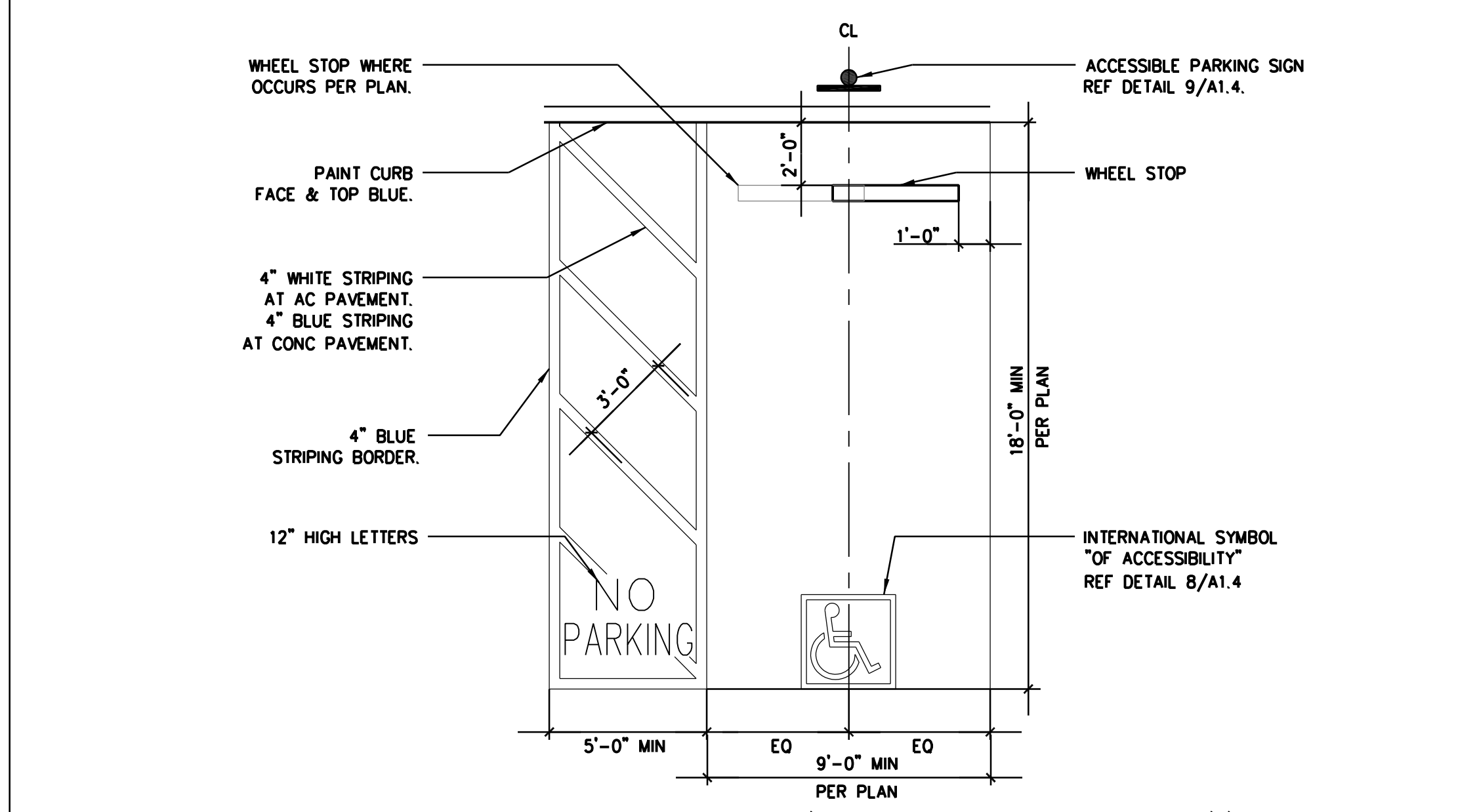
22 ACCESSIBLE PARKING 1/4"=1'-0" 14 PARKING SIGN 1/2"=1'-0" 10 CURB RAMP 1/4"=1'-0" 6 TYP CONCRETE PAVING 1 1/2"=1'-0" 2



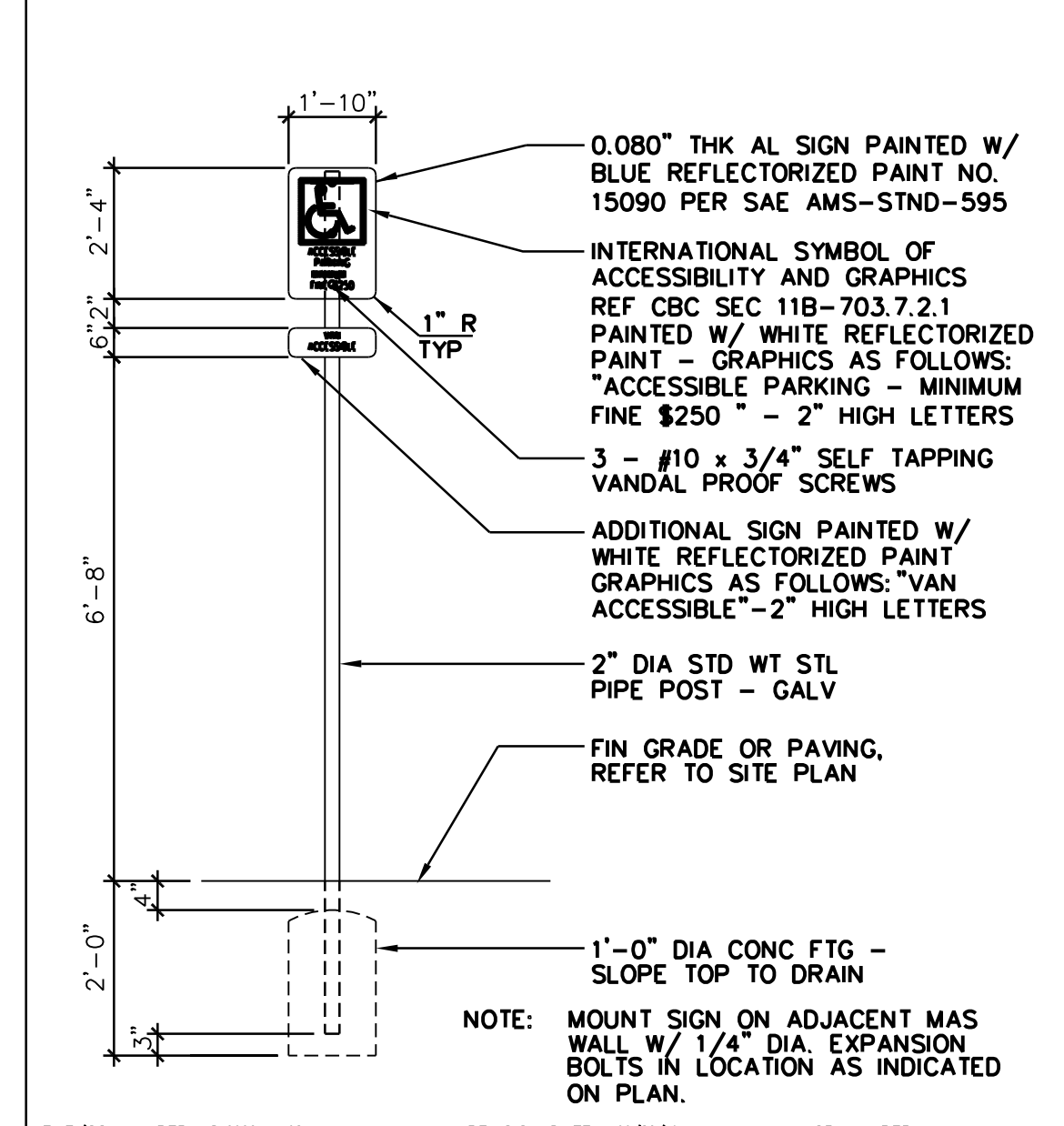
23 VAN ACCESSIBLE PARKING 1/4"=1'-0" 15



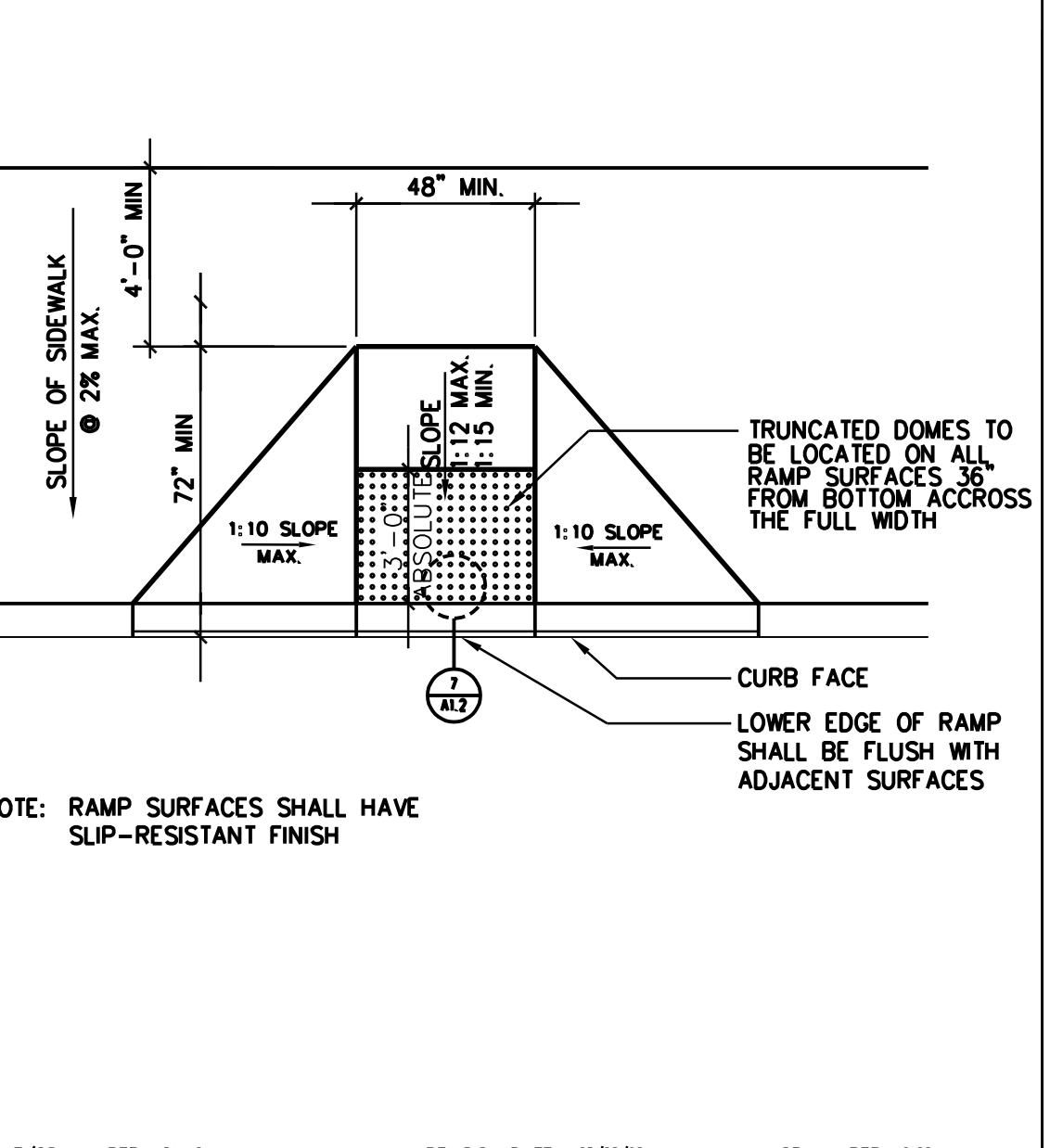
24 CONC PAVING JT W/ EXG CONC 1 1/2"=1'-0" 20



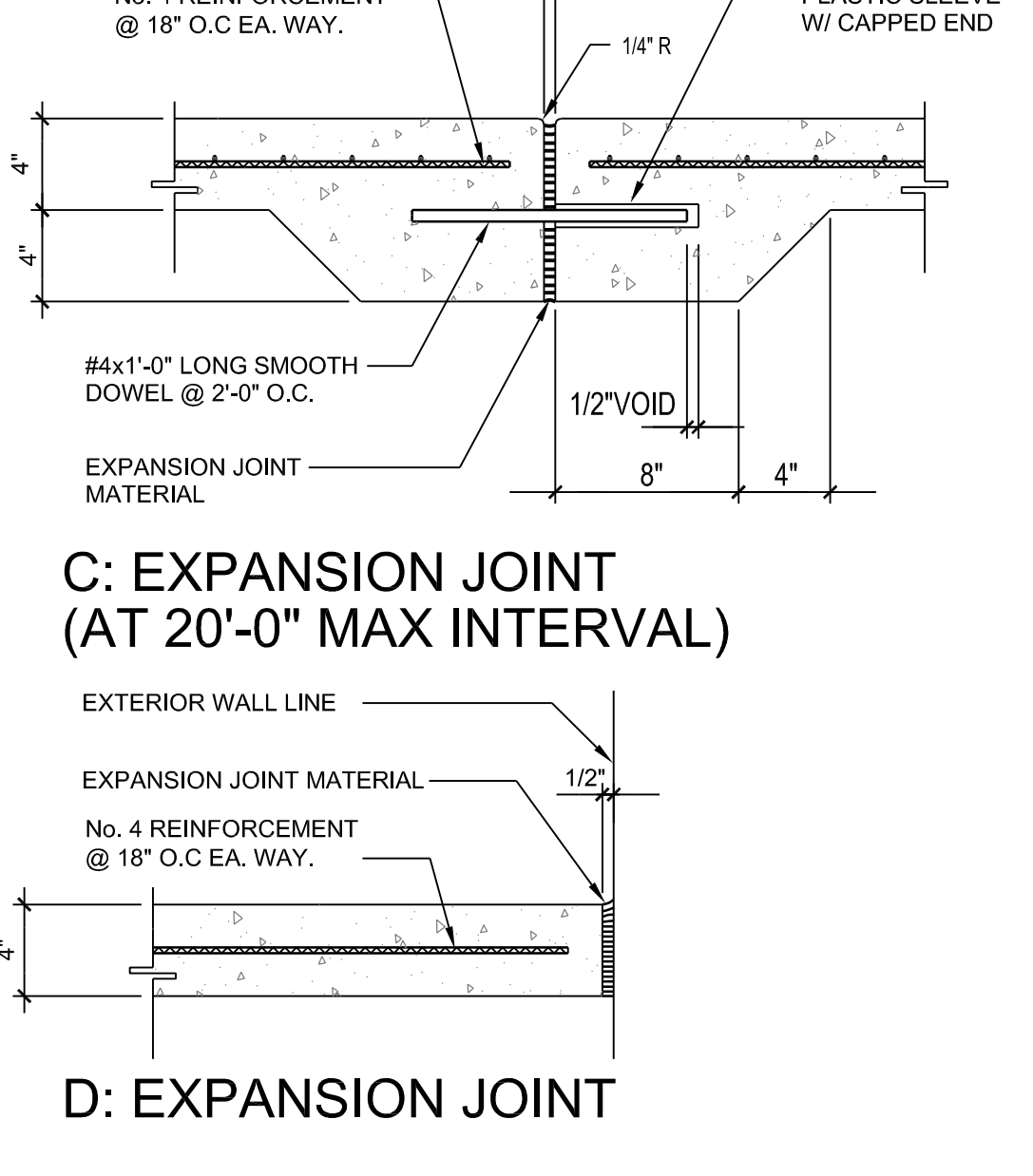
25 TRUNCATED DOME DETAIL NTS 7



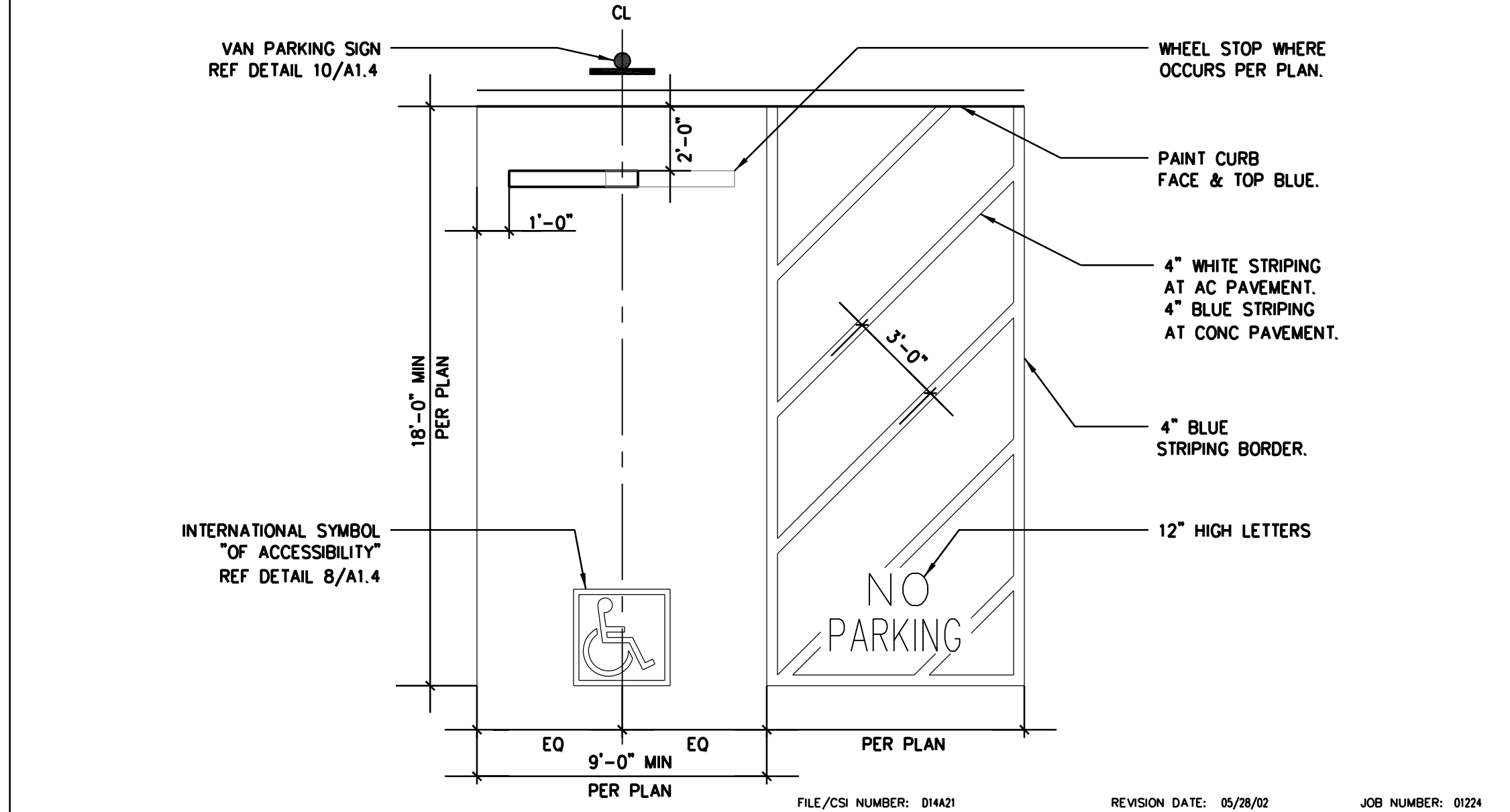
26 ACCESS SIGN 3/4"=1'-0" 8



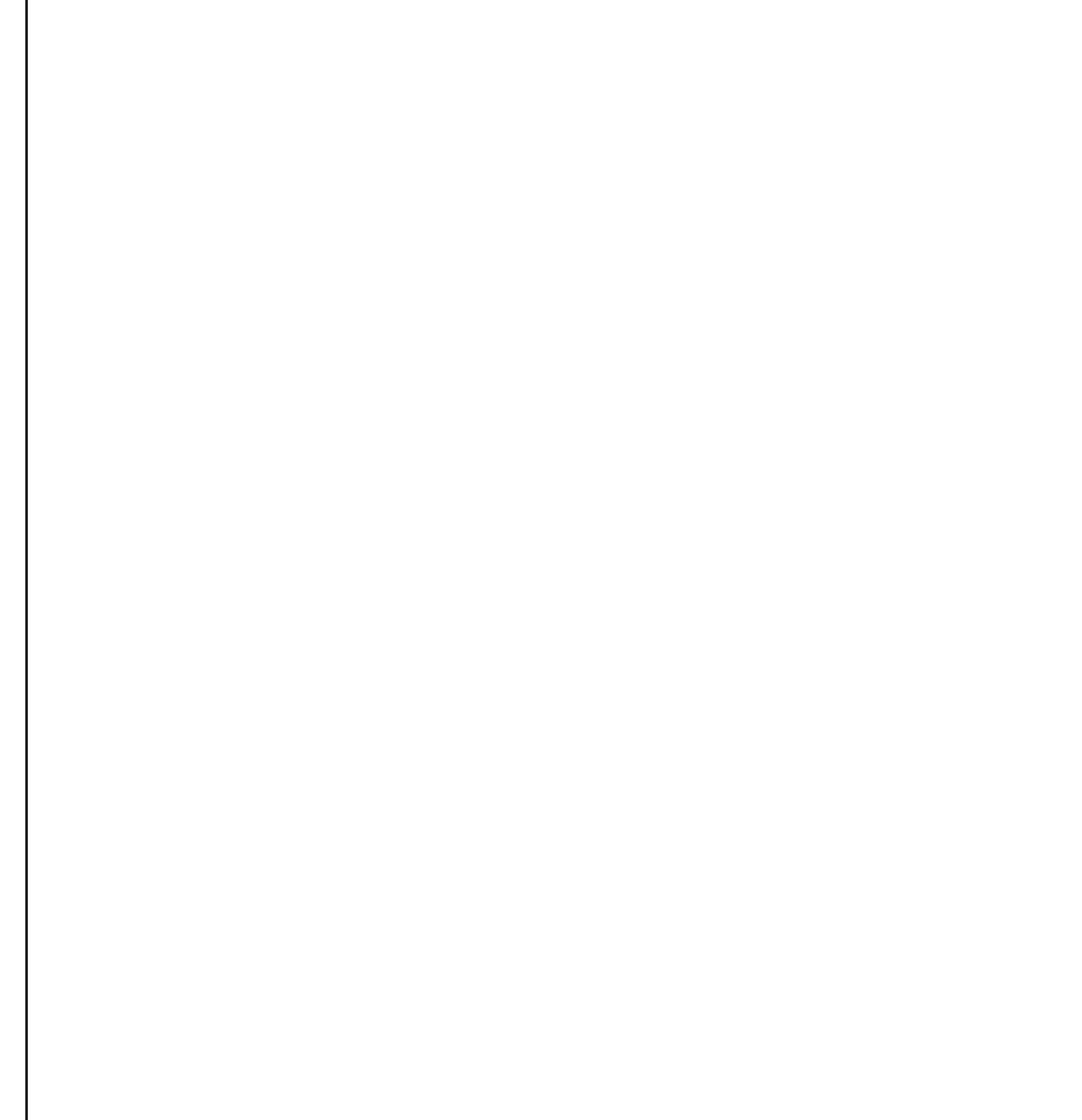
27 PAVEMENT TRANSITION 1 1/2"=1'-0" 4



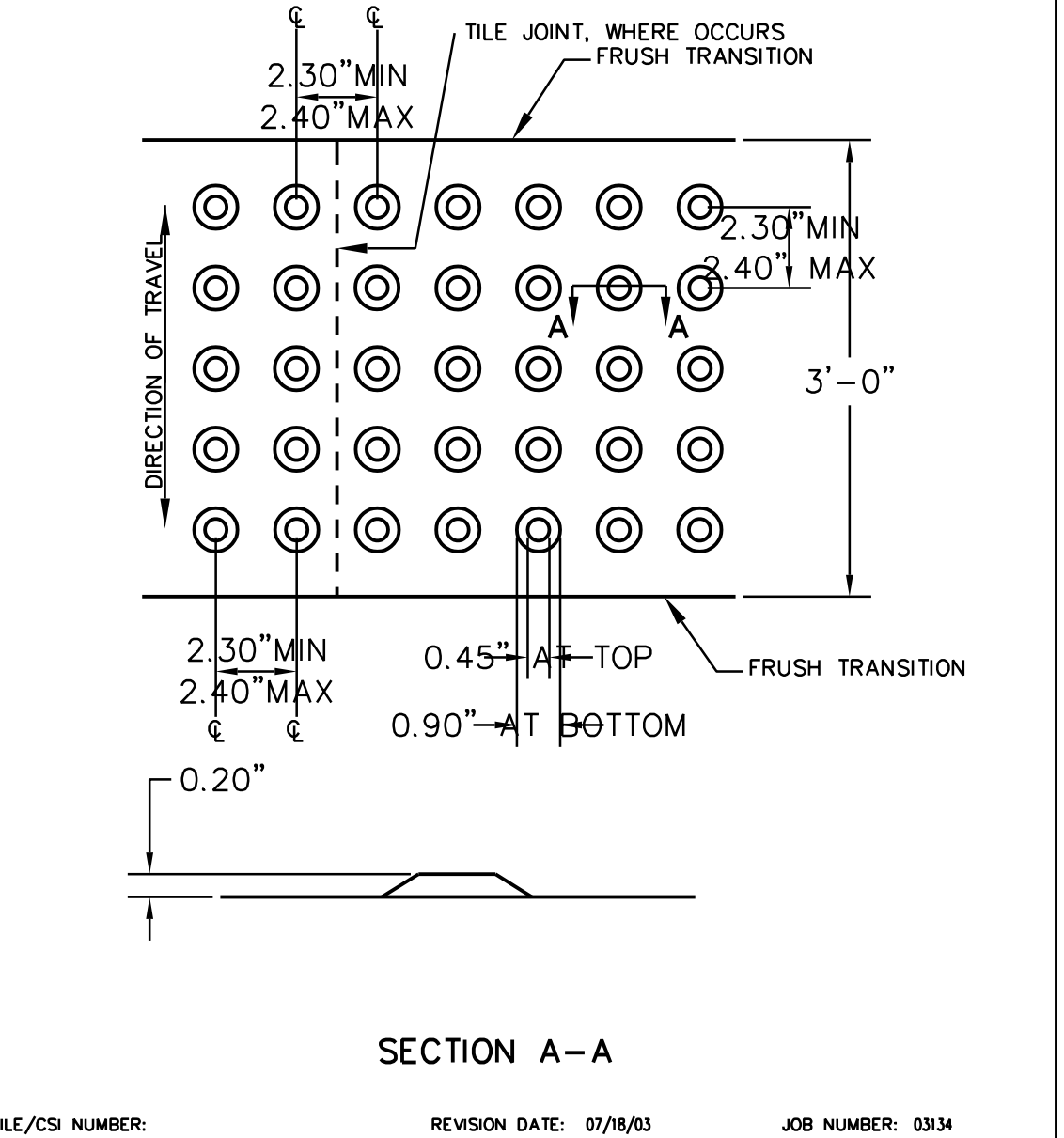
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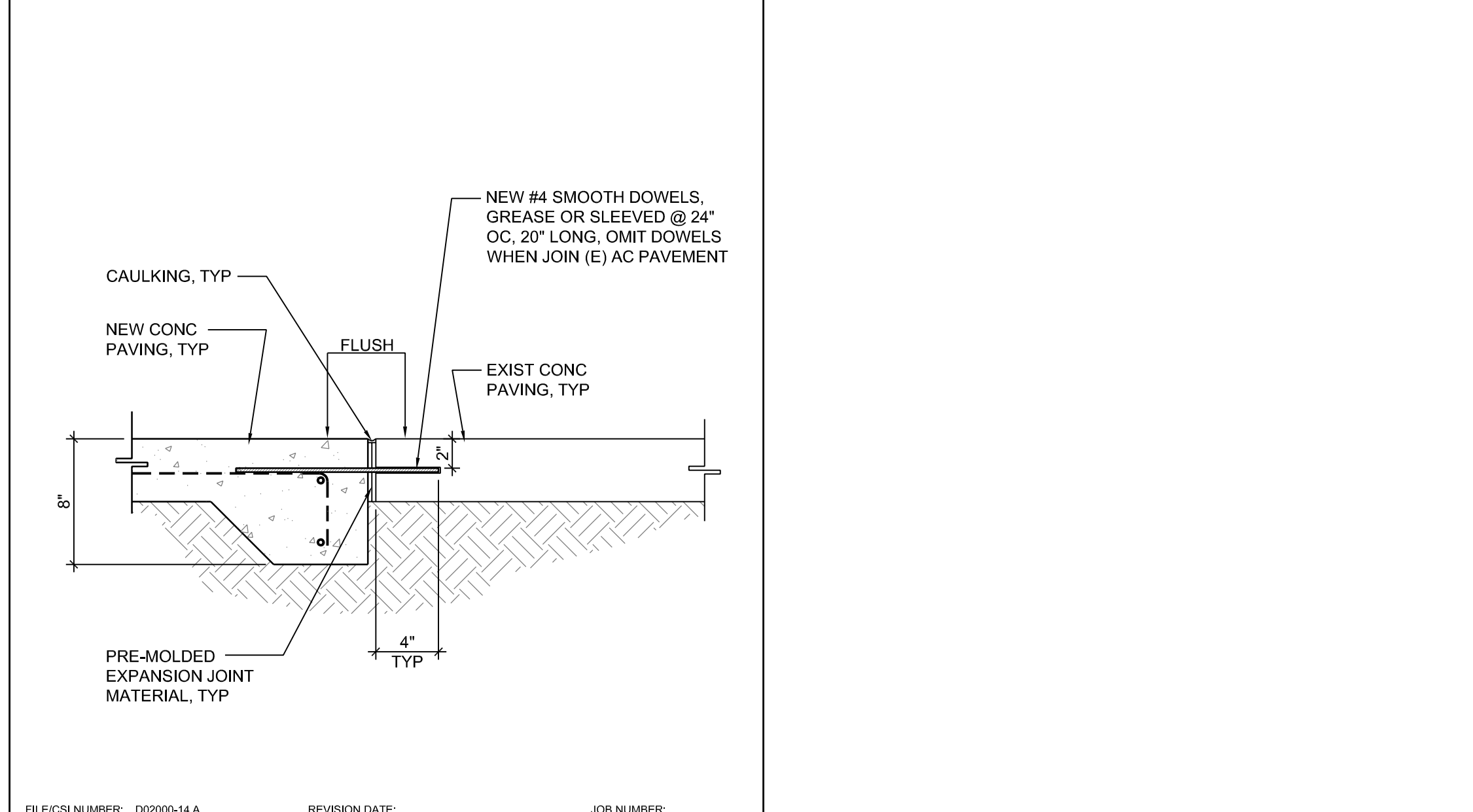
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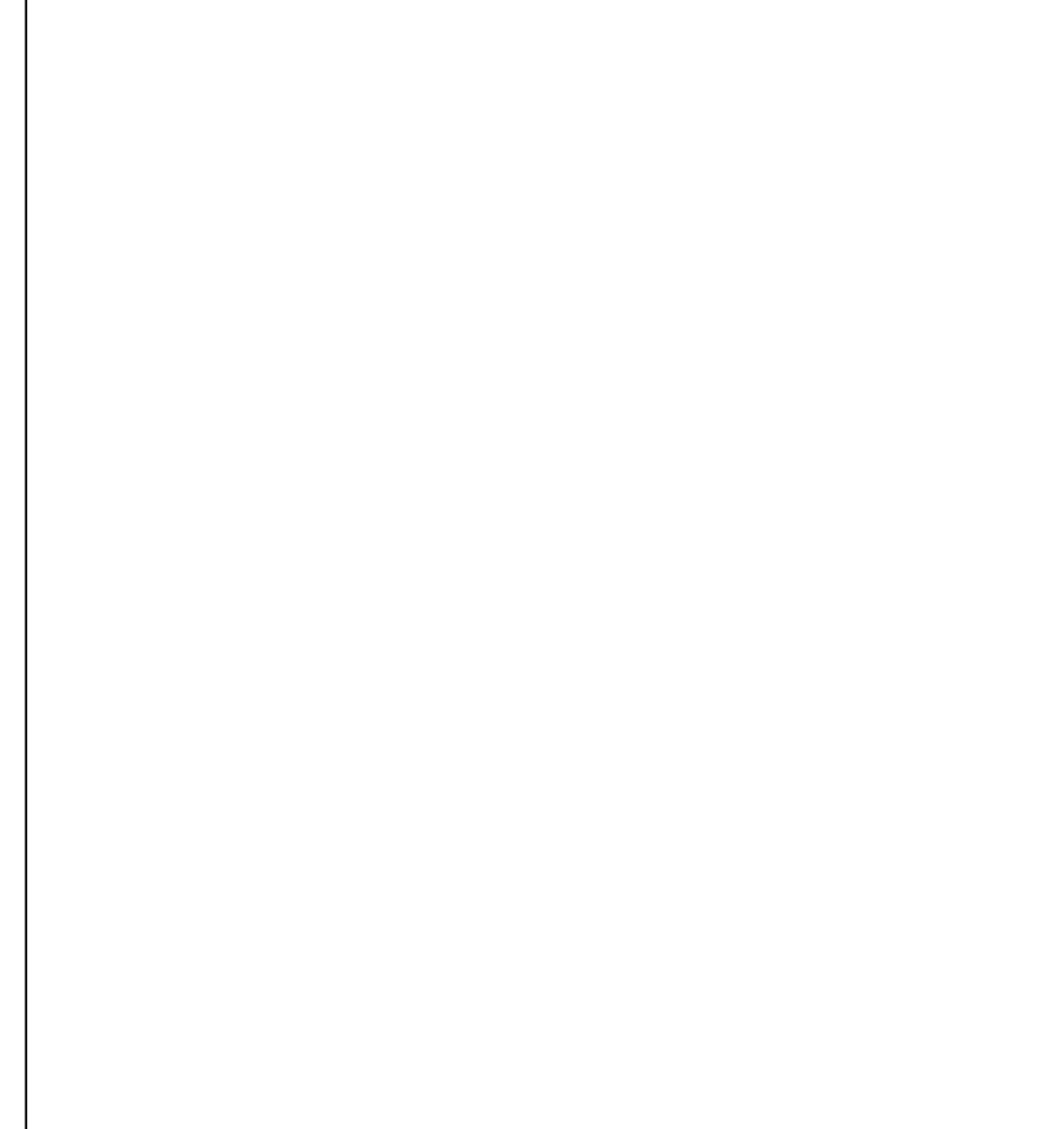
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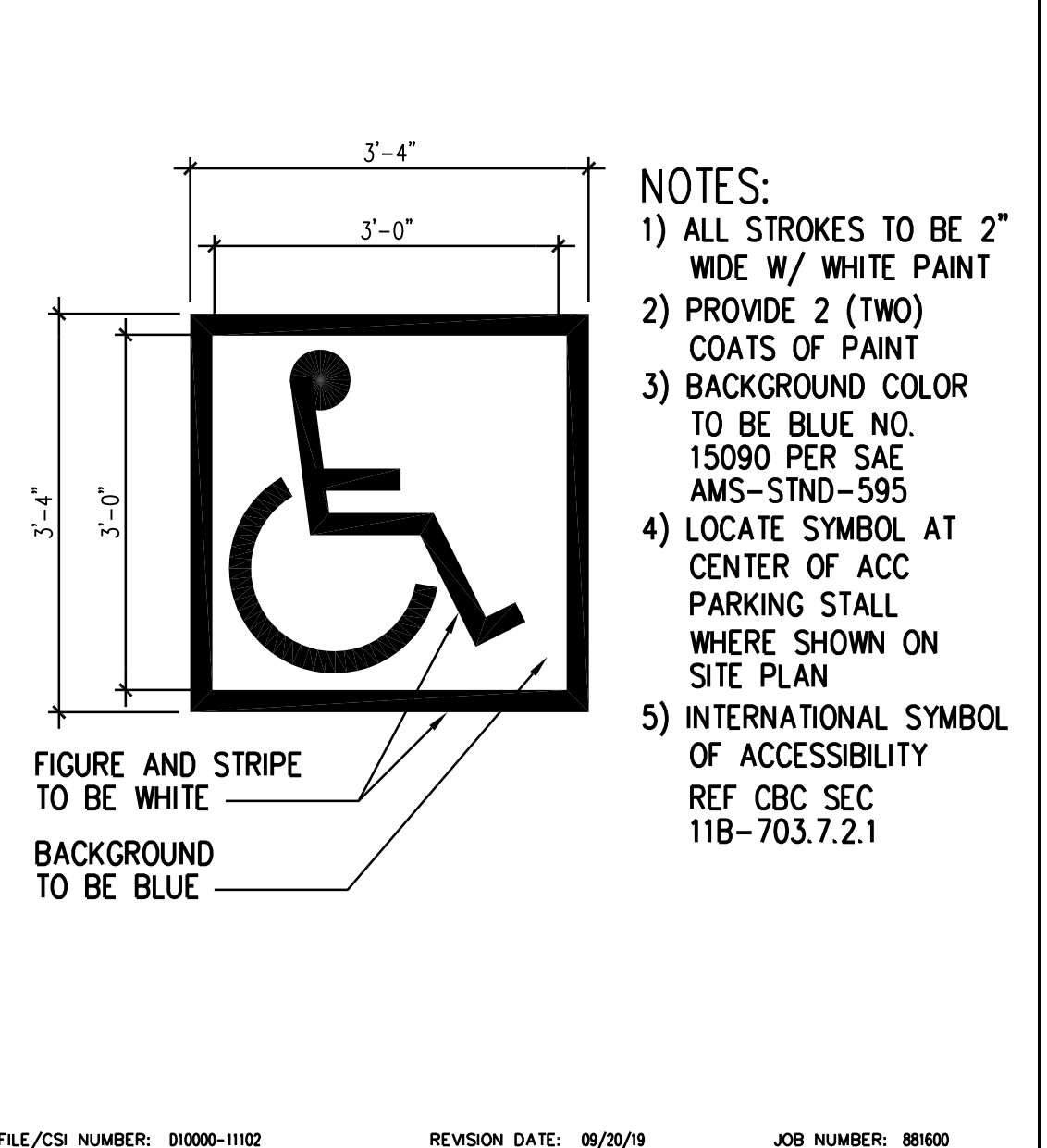
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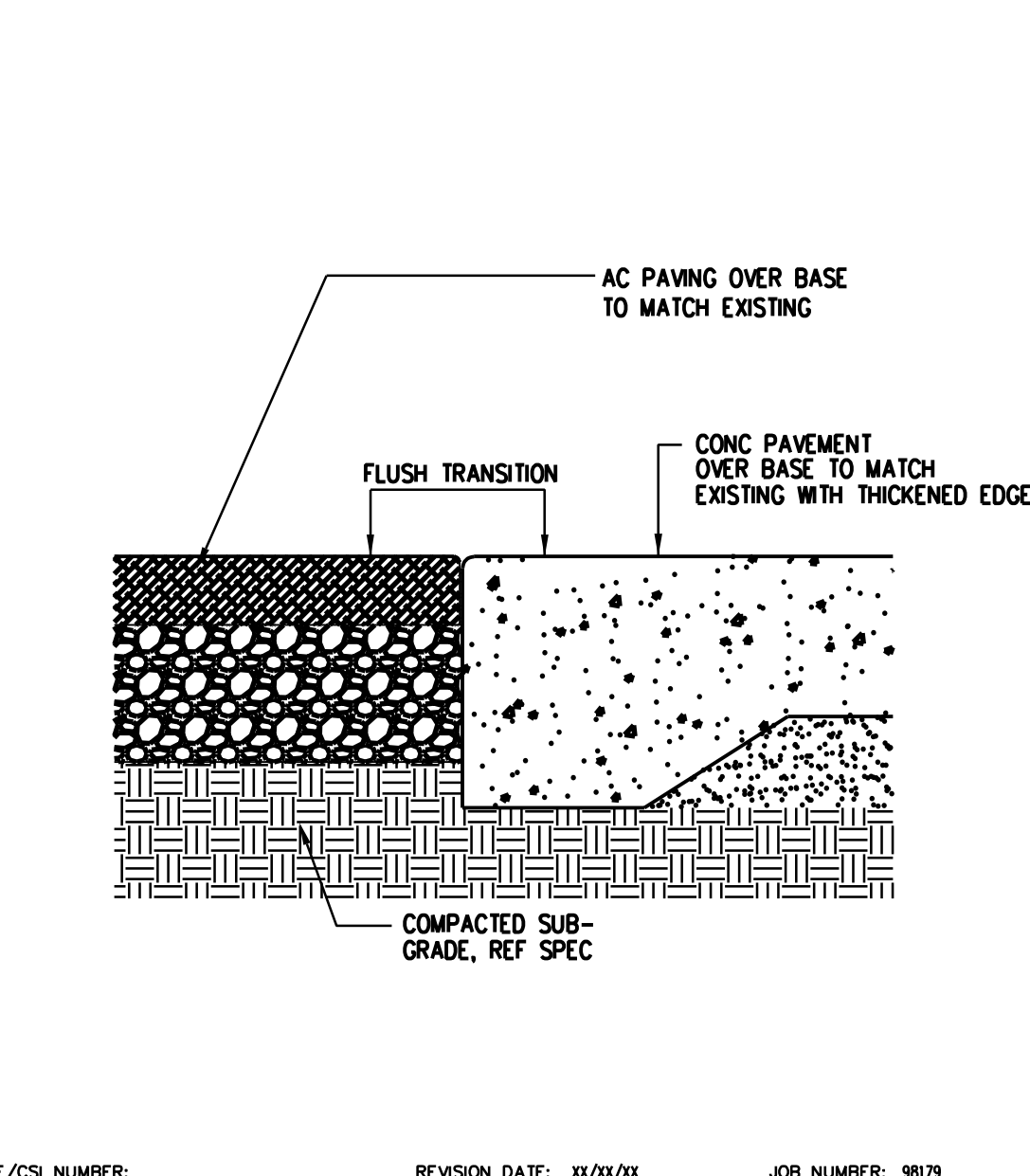
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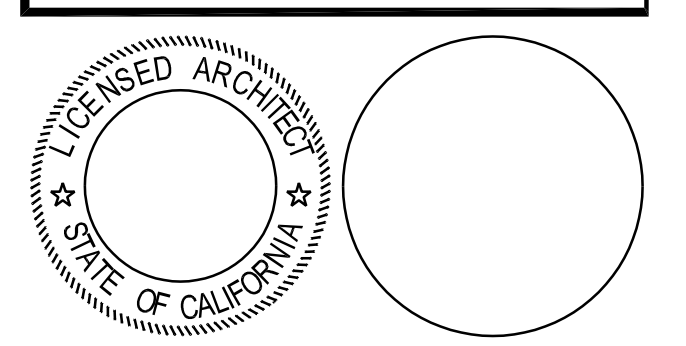


36



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

LOMITAS ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
12571 1ST AVE.
VICTORVILLE, CA 92395



CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
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NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: WLC CHECKED: .
DATE: 02/24/2023 SCALE: AS NOTED
PROJECT NUMBER: 000000

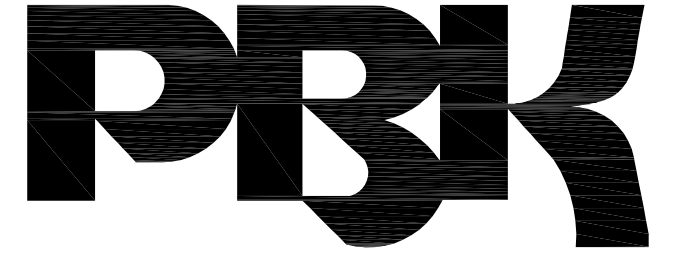
DETAILS

DRAWING NUMBER: A1.2

VESD MAINTENANCE & OPERATION OFFICE PARKING LOT SLURRY SEAL

VICTORVILLE ELEMENTARY SCHOOL DISTRICT

14875 S. MOJAVE DR.
VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
6. INSPECTOR OF RECORD REQUIREMENTS:
 - A. DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
7. ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
9. CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
10. SOIL BEARING PRESSURE ASSUMED AT : 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
11. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
12. PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
13. GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
14. GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
15. ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
16. ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
17. FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.
- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 4	

PROJECT TEAM

PROJECT ADDRESS
VESD MAINTENANCE & OPERATION OFFICE
14875 S. MOJAVE DR.,
VICTORVILLE, CA 92395
PHONE: 760-245-3533

OWNER
VICTORVILLE ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

**VESD MAINTENANCE & OPERATION OFFICE
PARKING LOT SLURRY SEAL
VICTORVILLE ELEMENTARY SCHOOL DISTRICT**
14875 S. MOJAVE DR.
VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

REVISION
3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

CENTER LINES, FLOOR LINES AND LEVEL LINES

SECTION LINES

PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH	SCHED	SCHEDULE
CL	CHAIN LINK	SHT MTL	SHEET METAL
CLR	CLEAR(ANCE)	SLP	SLOPE
CLRM	CLASSROOM	STD	STANDARD
CONC	CONCRETE	STL	STEEL
DEMO	DEMOLISH, DEMOLITION	TYP	TYPICAL
EJ	EXPANSION JOINT	W/	WITH
GA	GAGE		
GALV	GALVANIZED		

GOVERNING AGENCIES

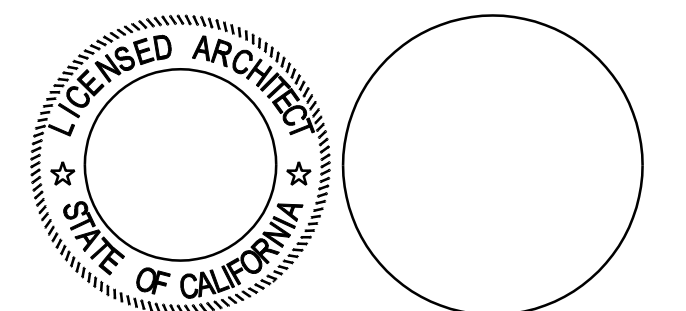
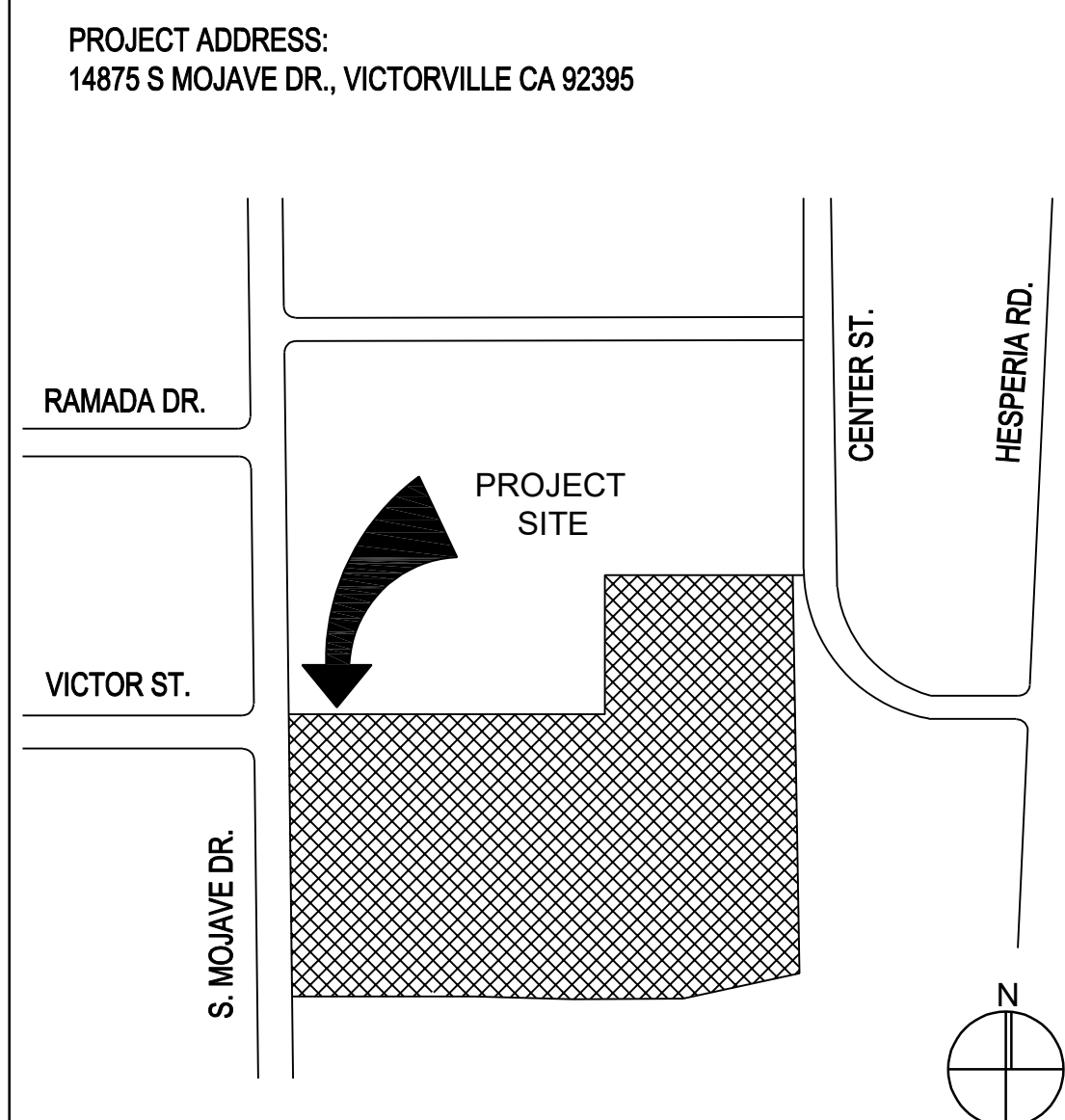
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



CONSULTANT

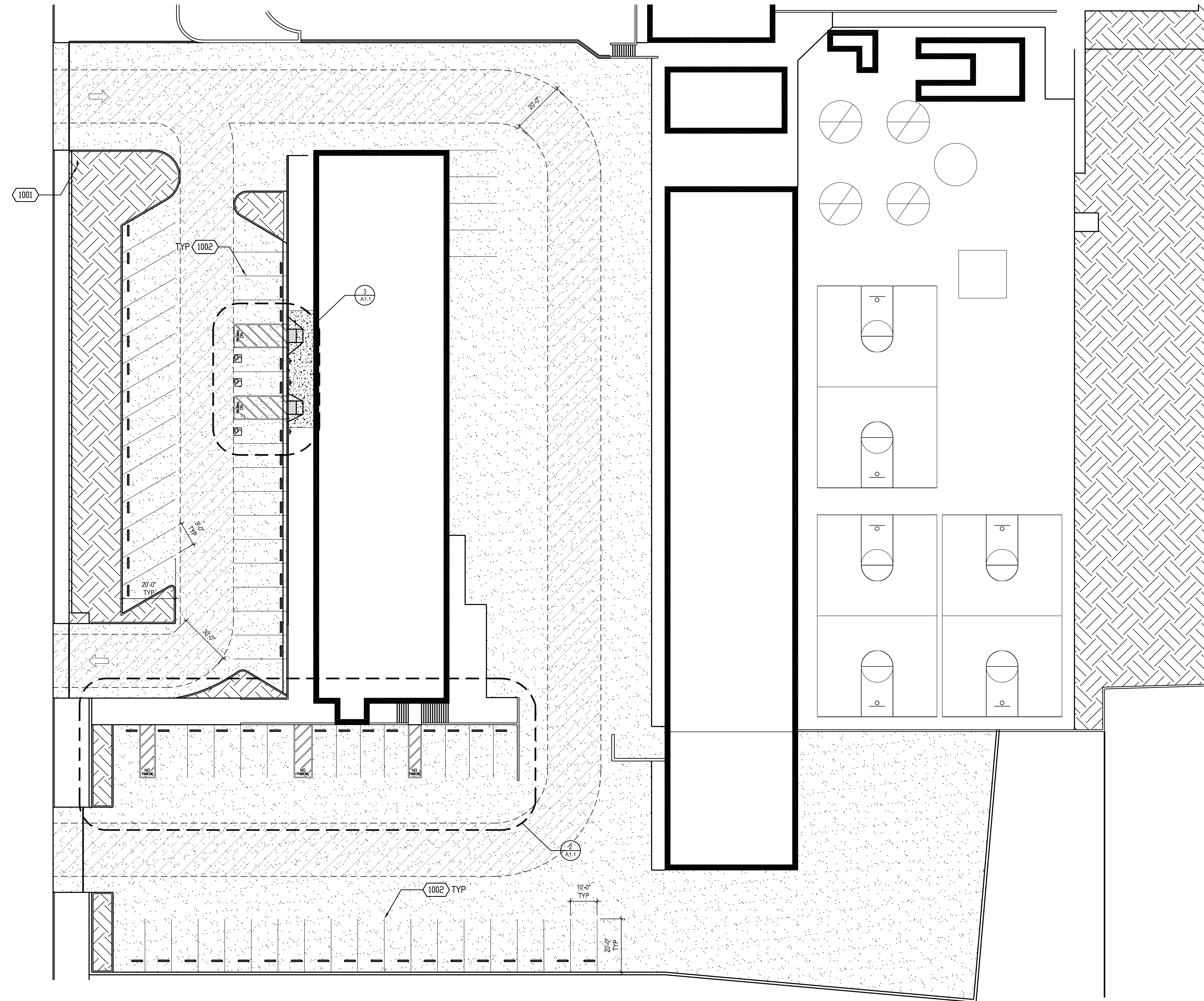
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1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

DRAWN: _____ **CHECKED:** _____
DATE: 02/24/2023 **SCALE:** _____
PROJECT NUMBER: 000000

**GENERAL NOTES
& PROJECT
DIRECTORY**

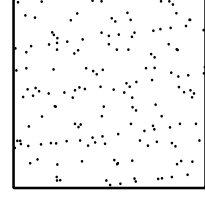
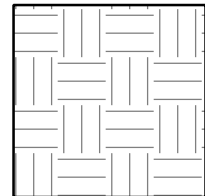
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MOJAVE DR.

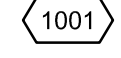
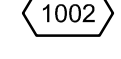
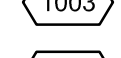
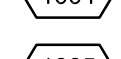
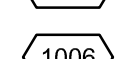
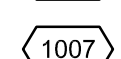
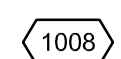
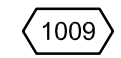
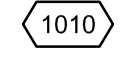

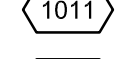
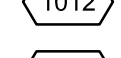
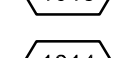
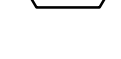
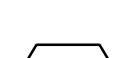


TOTAL PARKING SPACES = 66	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 3	STANDARD	ACCESSIBLE		66
	63	STANDARD	VAN	
		2	1	

PARK CALCULATION

-  AREA OF SLURRY COAT.
-  (E) LANDSCAPE

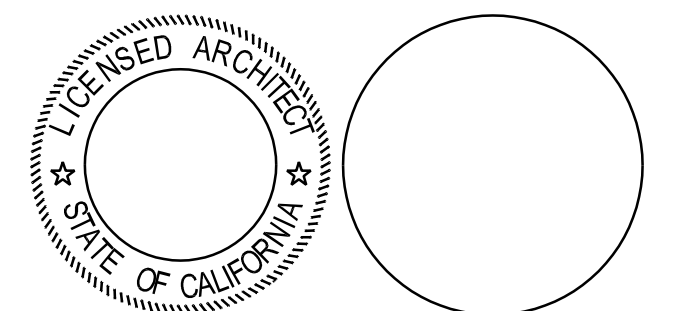
SITE LEGEND

-  TOW-AWAY SIGN.
-  4" WIDE WHITE PAVEMENT STRIPING.
-  WHEEL STOP.
-  PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
-  12" H PAINTED WHITE TEXT.
-  ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
-  VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
-  TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
-  4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS, 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
-  VAN ACCESSIBLE PARKING, REFER TO DETAIL 15/A1.2.
-  ACCESSIBLE PARKING, REFER TO DETAIL 14/A1.2.
-  CONC CURB RAMP, REF DETAIL 6/A1.2.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS, 4" WIDE WHITE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
-  FLUSH TRANSITION, REF DETAIL 4/A1.2.




RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

VESD MAINTENANCE & OPERATION OFFICE
PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT
 14875 S. MOJAVE DR.
 VICTORVILLE, CA 92395



CONSULTANT

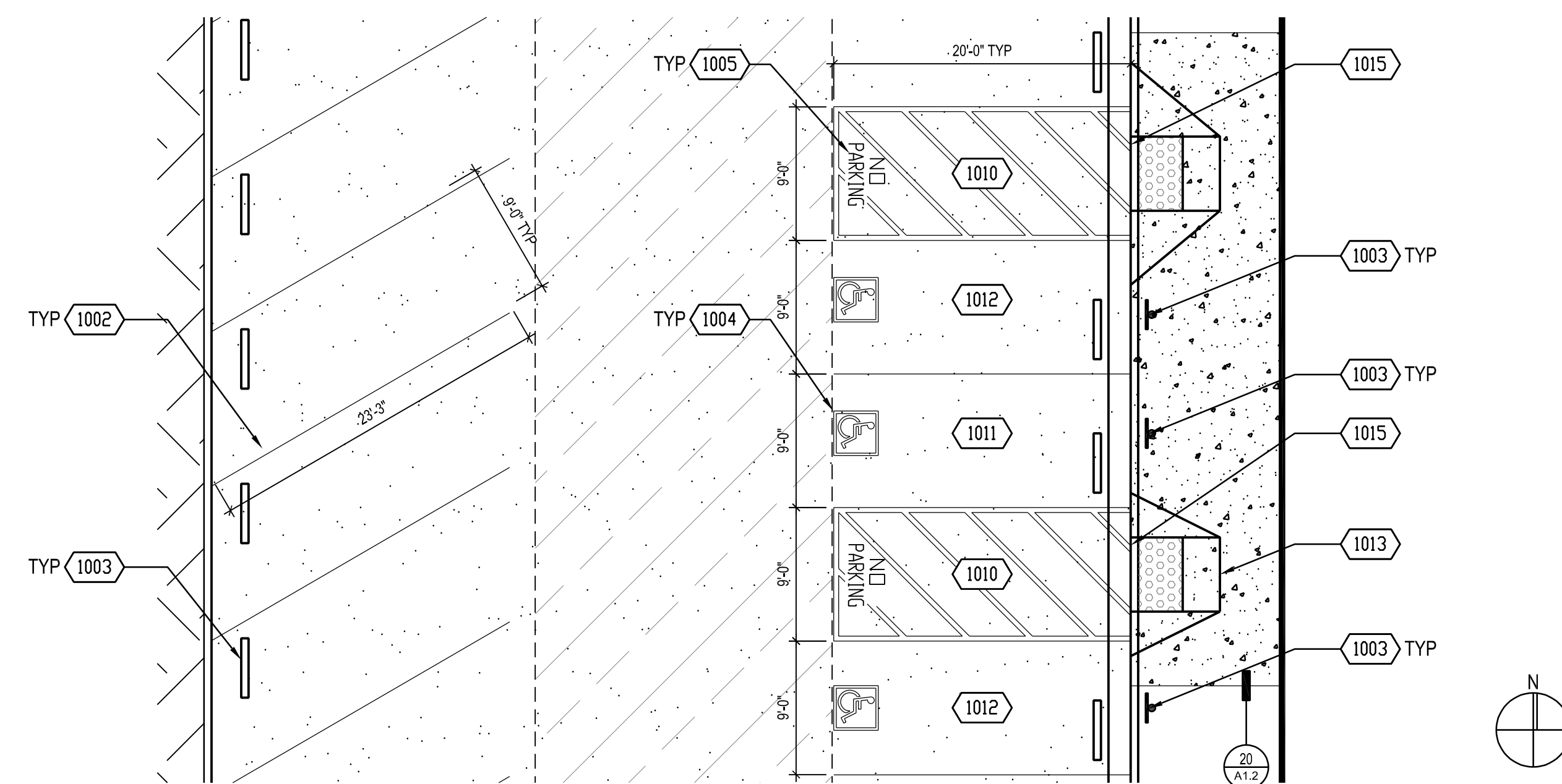
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NO	DATE	BY	DESCRIPTION
			REVISIONS

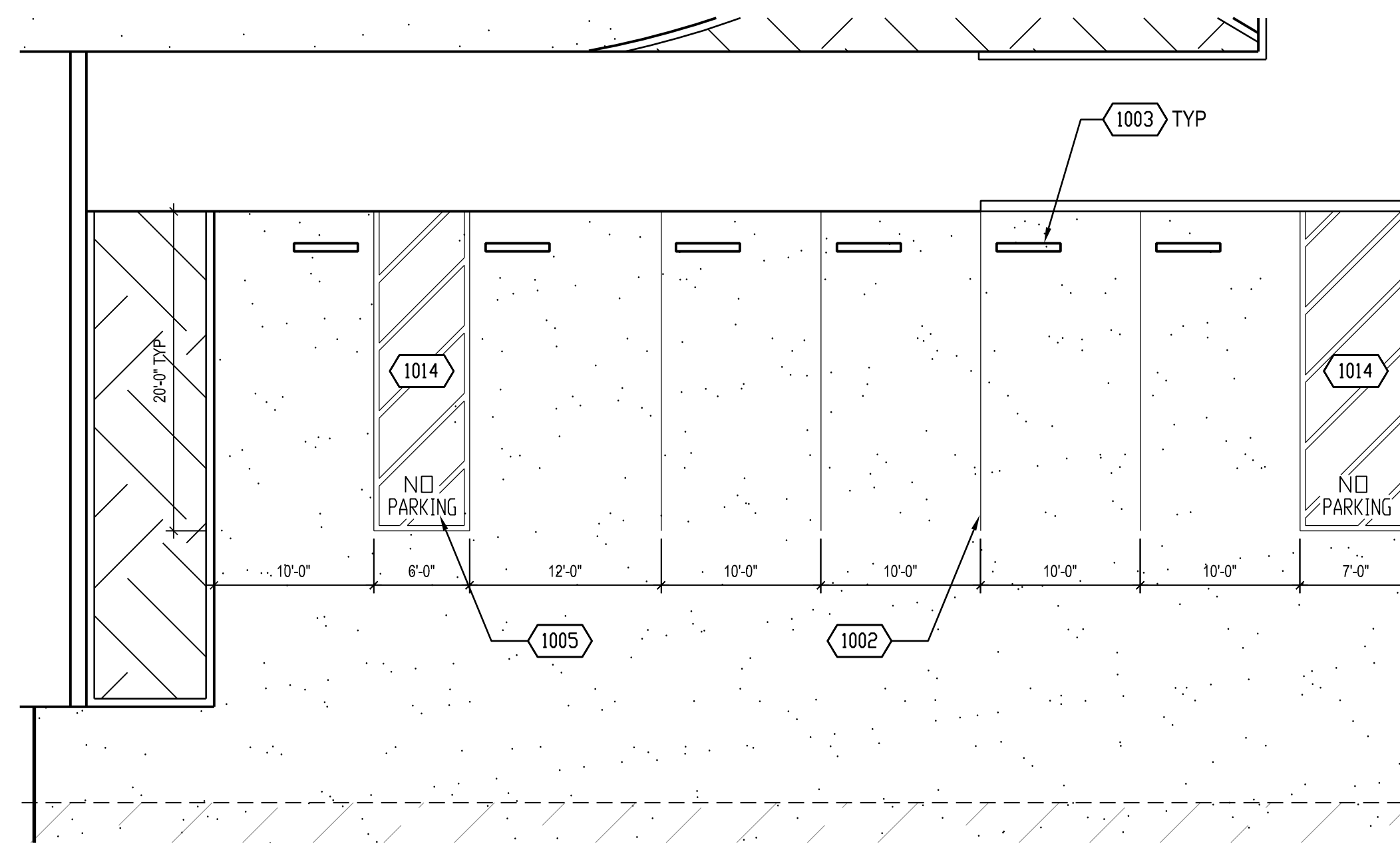
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DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

OVERALL SITE PLAN


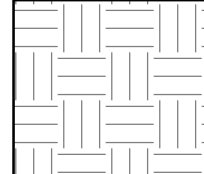
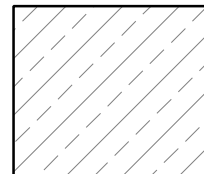
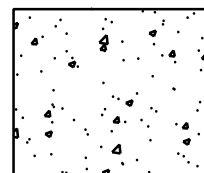
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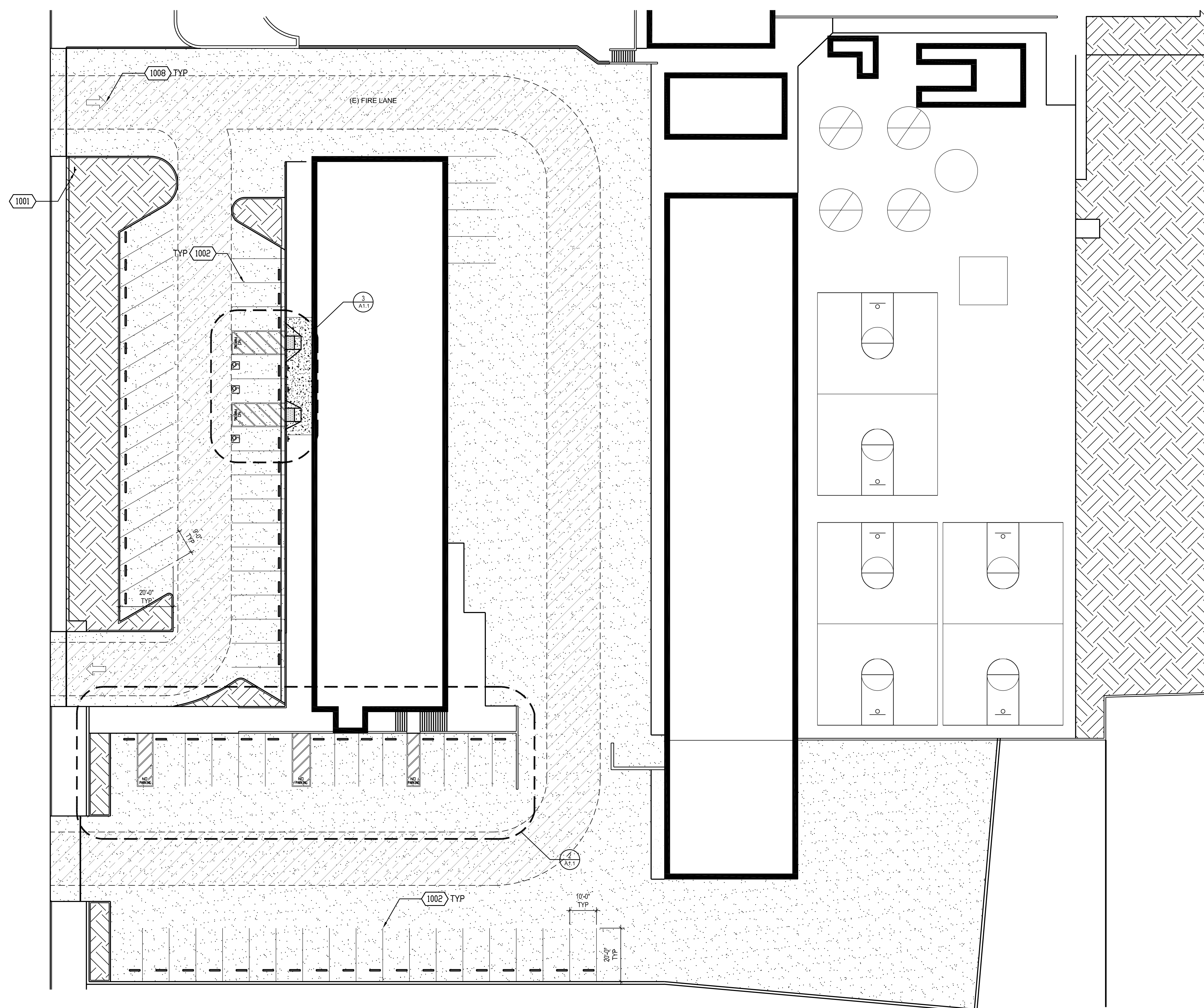
ENLARGED ACCESSIBLE PARKING PLAN 1/8" = 1'-0" 3



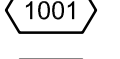
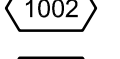
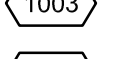
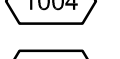
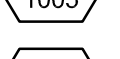
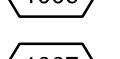
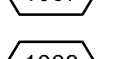
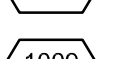
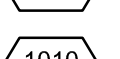
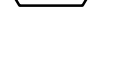
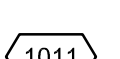
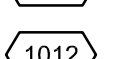
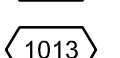
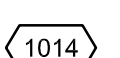

ENLARGED ACCESSIBLE PARKING PLAN 1/8" = 1'-0" 2

- SITE LEGEND**
-  AREA OF SLURRY COAT, STRIPING, & PAVEMENT
 -  (E) LANDSCAPE
 -  (E) FIRE LANE 20'-0" MIN CLR
 -  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK. PROVIDE EXPANSION JOINTS (EJ) AT 20'-0" MAX INTERVALS, AND CONTROL JOINTS AT 5'-0" MAX INTERVAL BETWEEN EJ.

MOJAVE DR.

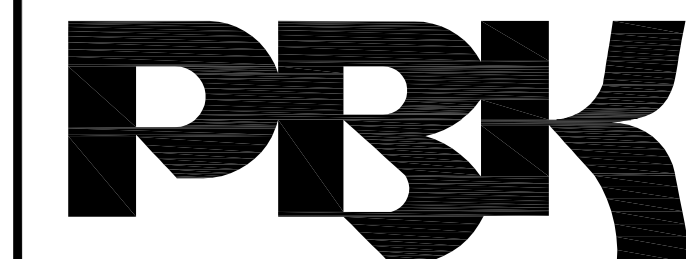


ENLARGED SITE PLAN 1" = 20'-0" 1

-  TOW-AWAY SIGN.
-  4" WIDE WHITE PAVEMENT STRIPING.
-  WHEEL STOP.
-  PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
-  12" H PAINTED WHITE TEXT.
-  ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
-  VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
-  TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
-  4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
-  VAN ACCESSIBLE PARKING, REFER TO DETAIL 15/A1.2.
-  ACCESSIBLE PARKING, REFER TO DETAIL 14/A1.2.
-  CONC CURB RAMP, REF DETAIL 6/A1.2.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE WHITE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
-  FLUSH TRANSITION, REF DETAIL 4/A1.2.

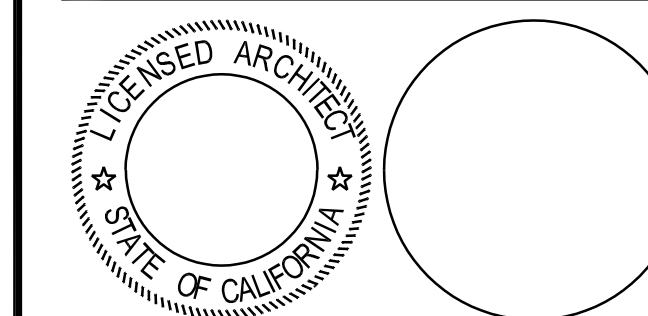
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

VESD MAINTENANCE & OPERATION OFFICE
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
14875 S. MOJAVE DR.
VICTORVILLE, CA 92395



CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
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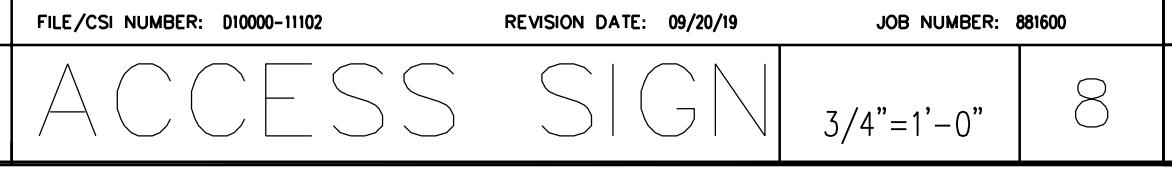
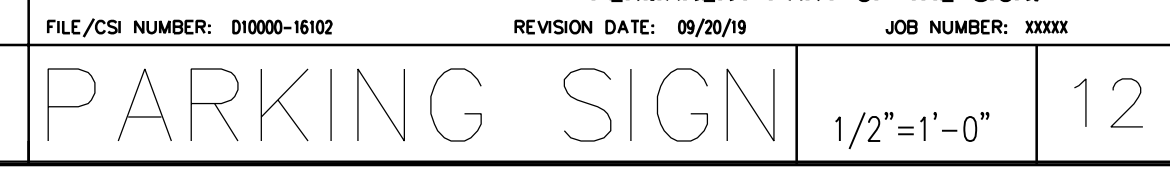
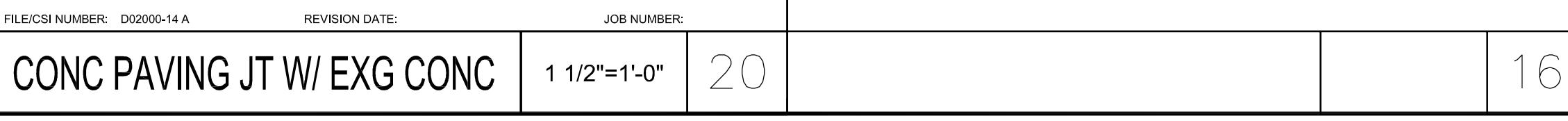
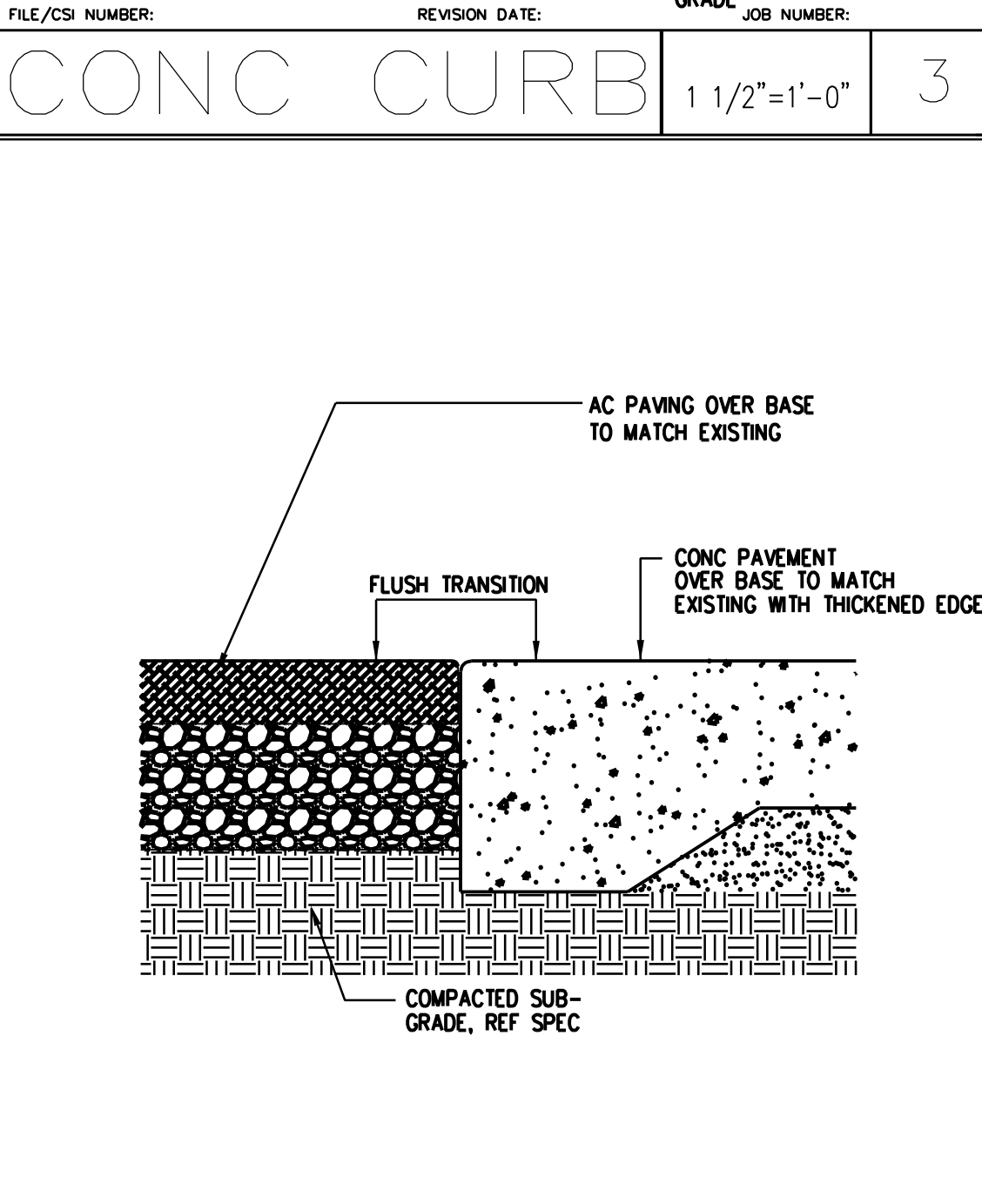
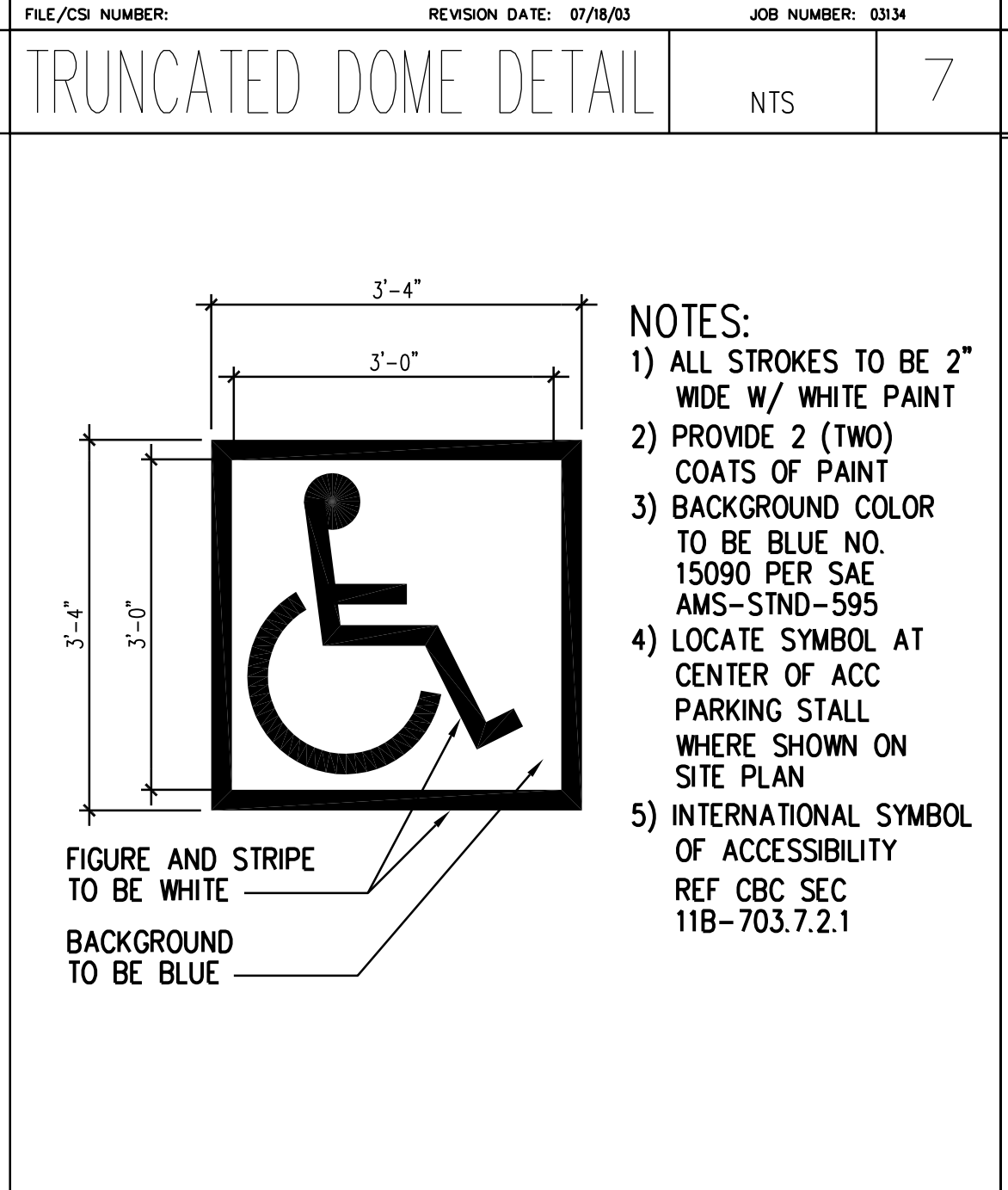
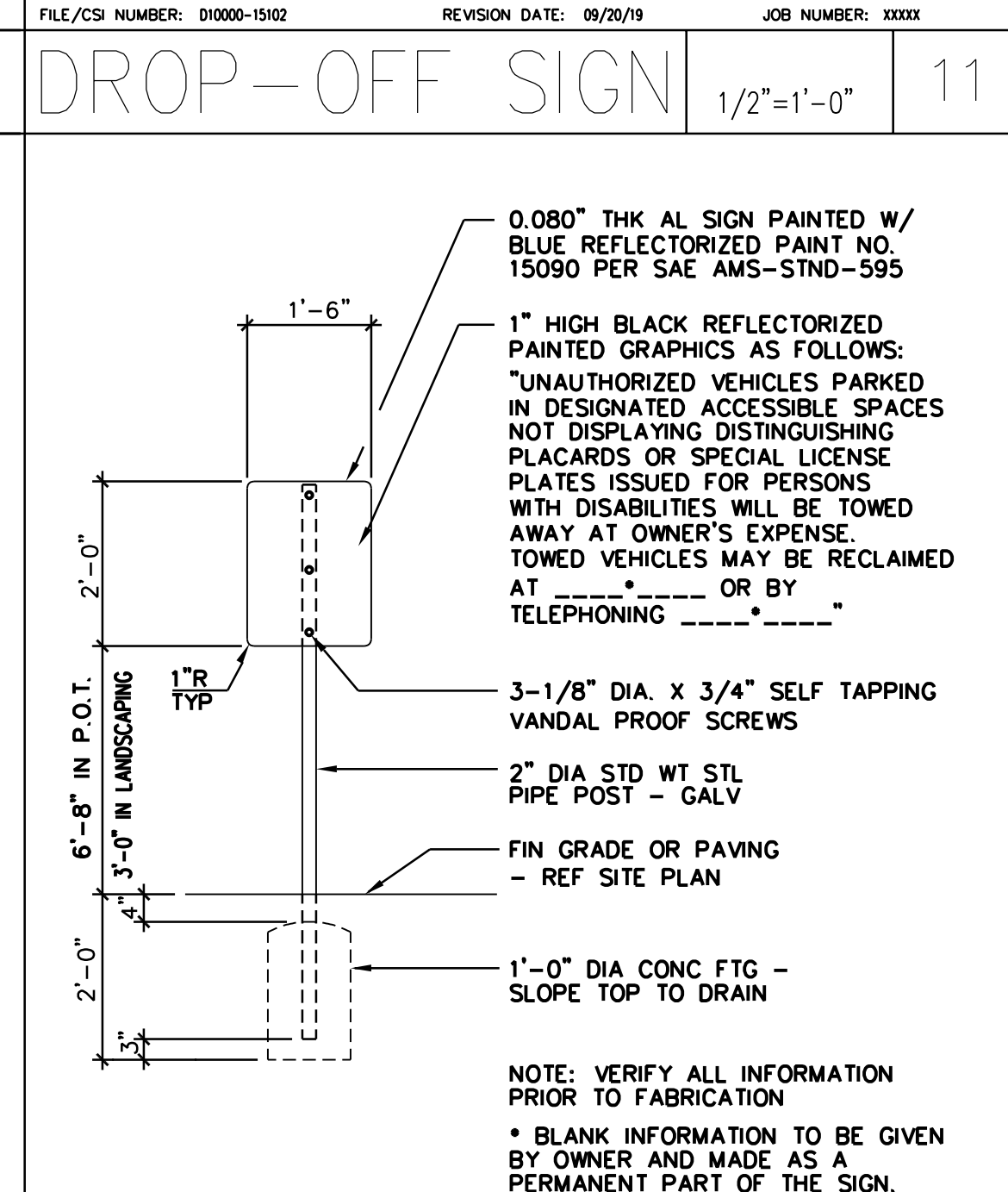
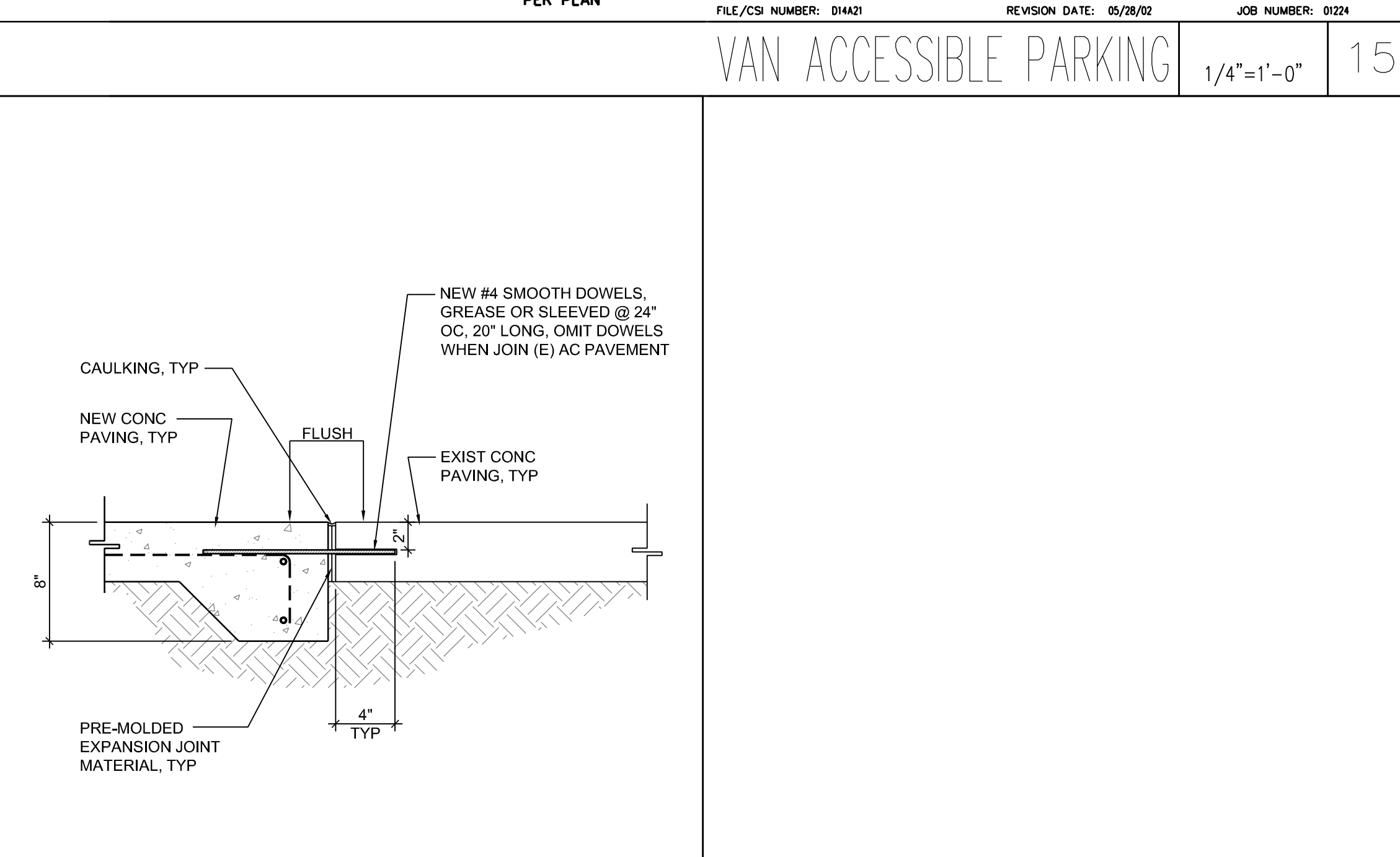
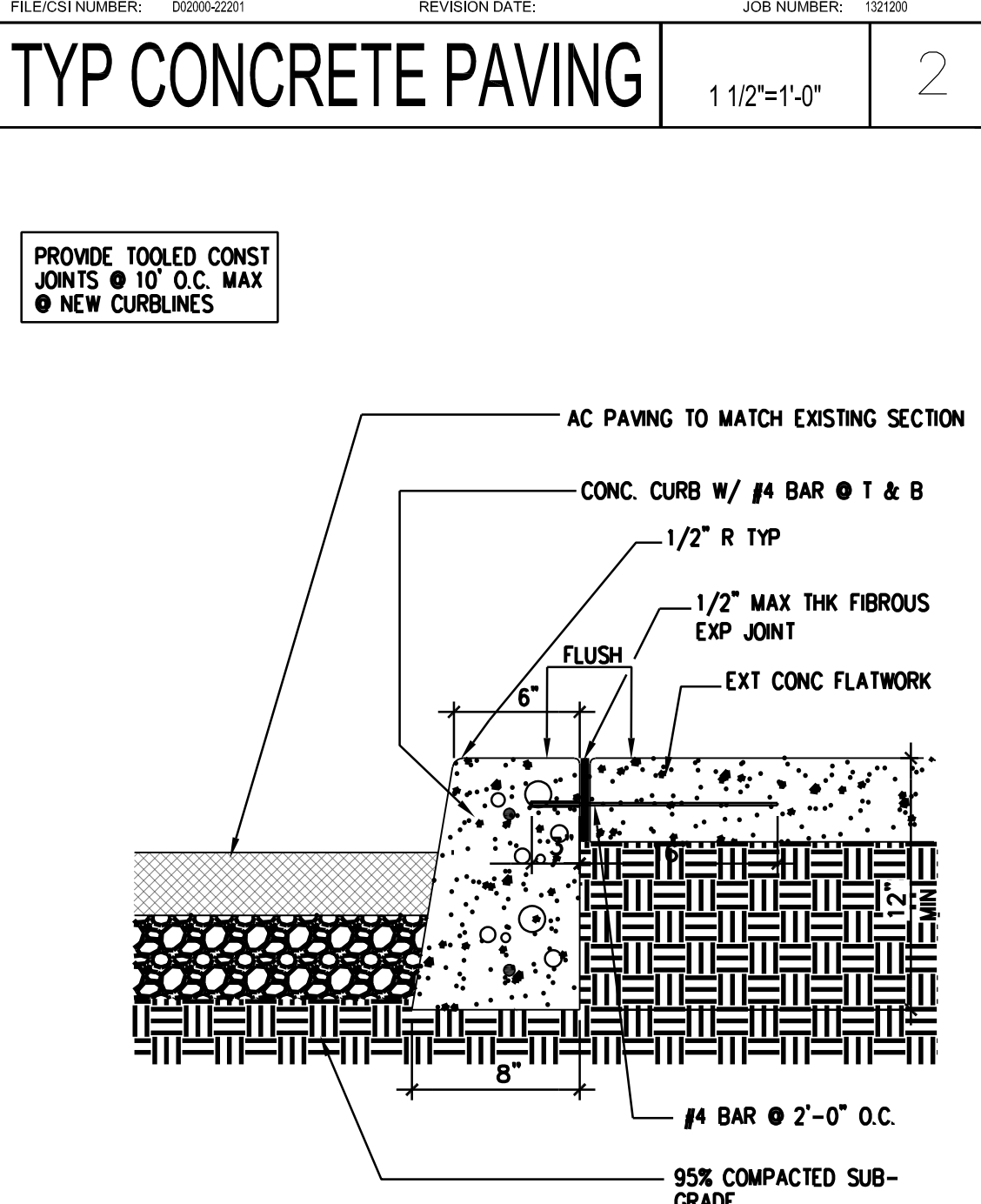
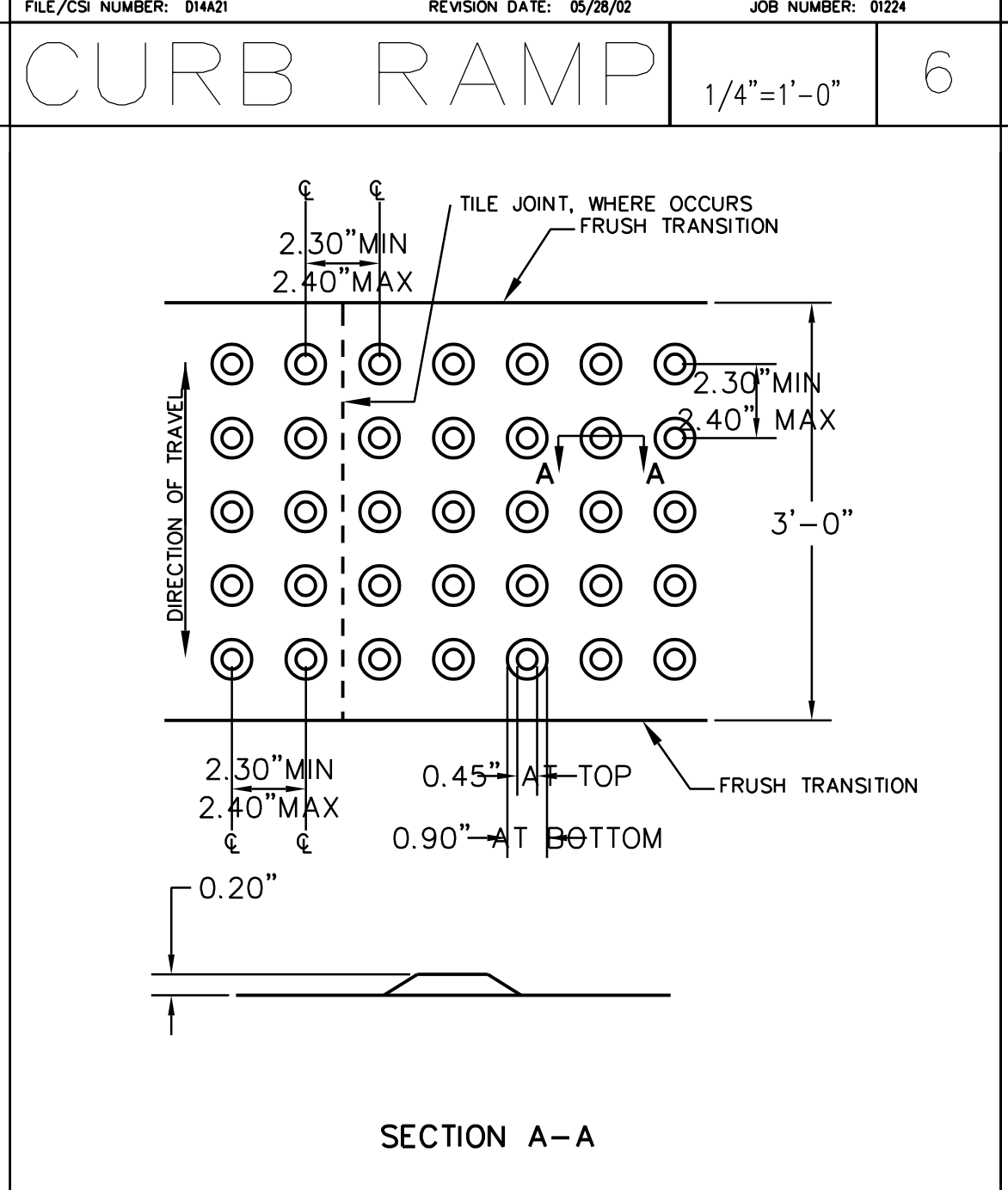
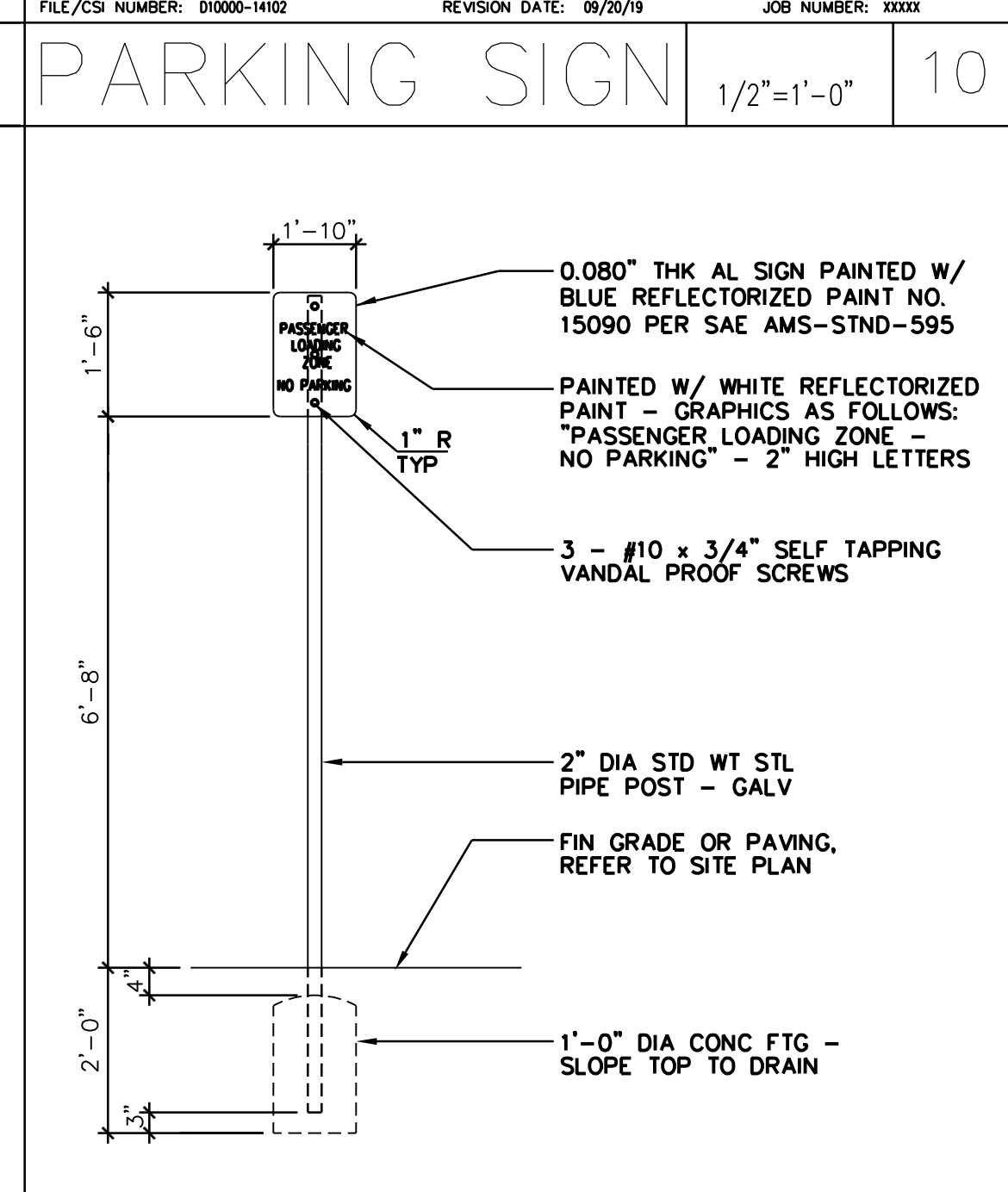
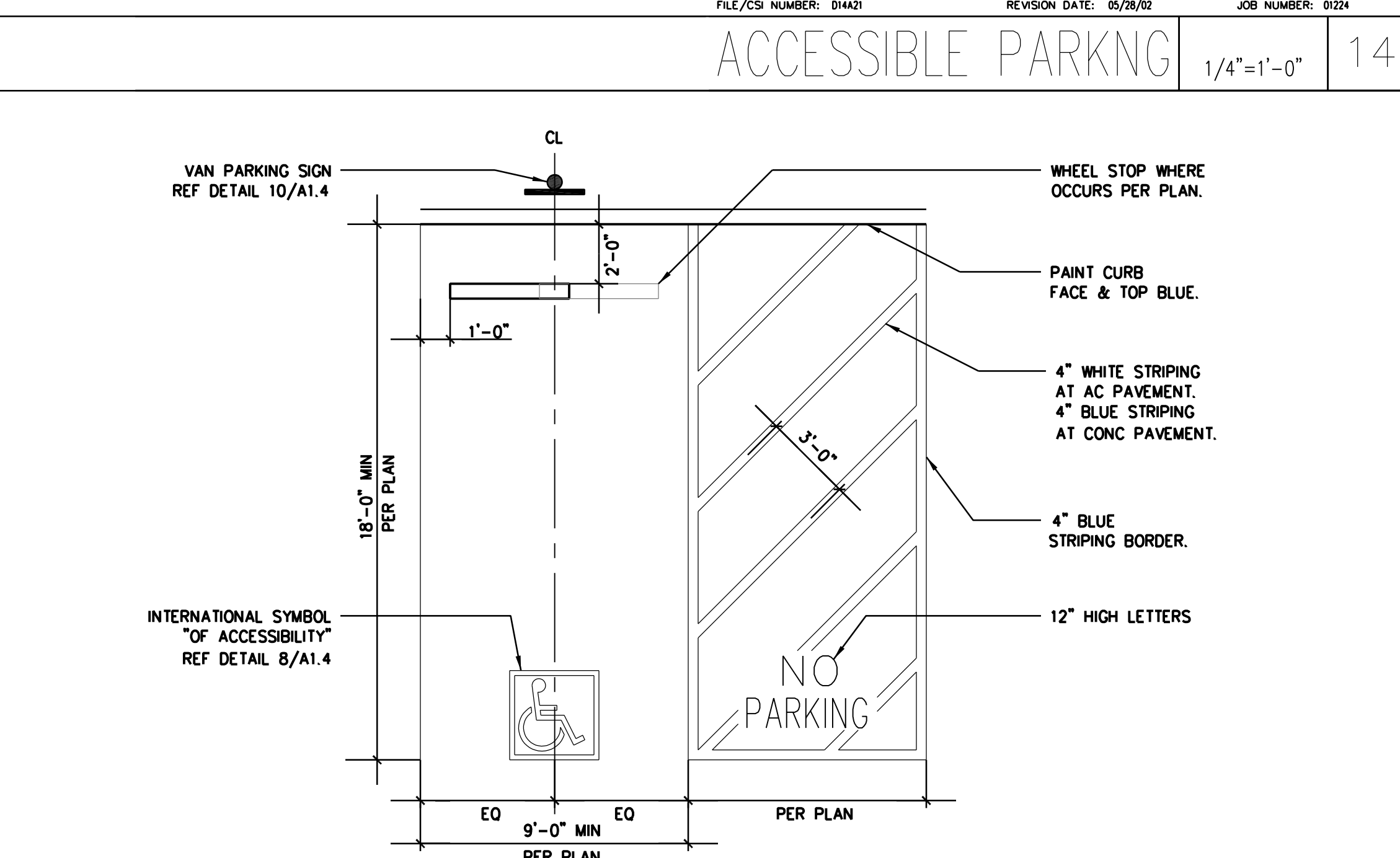
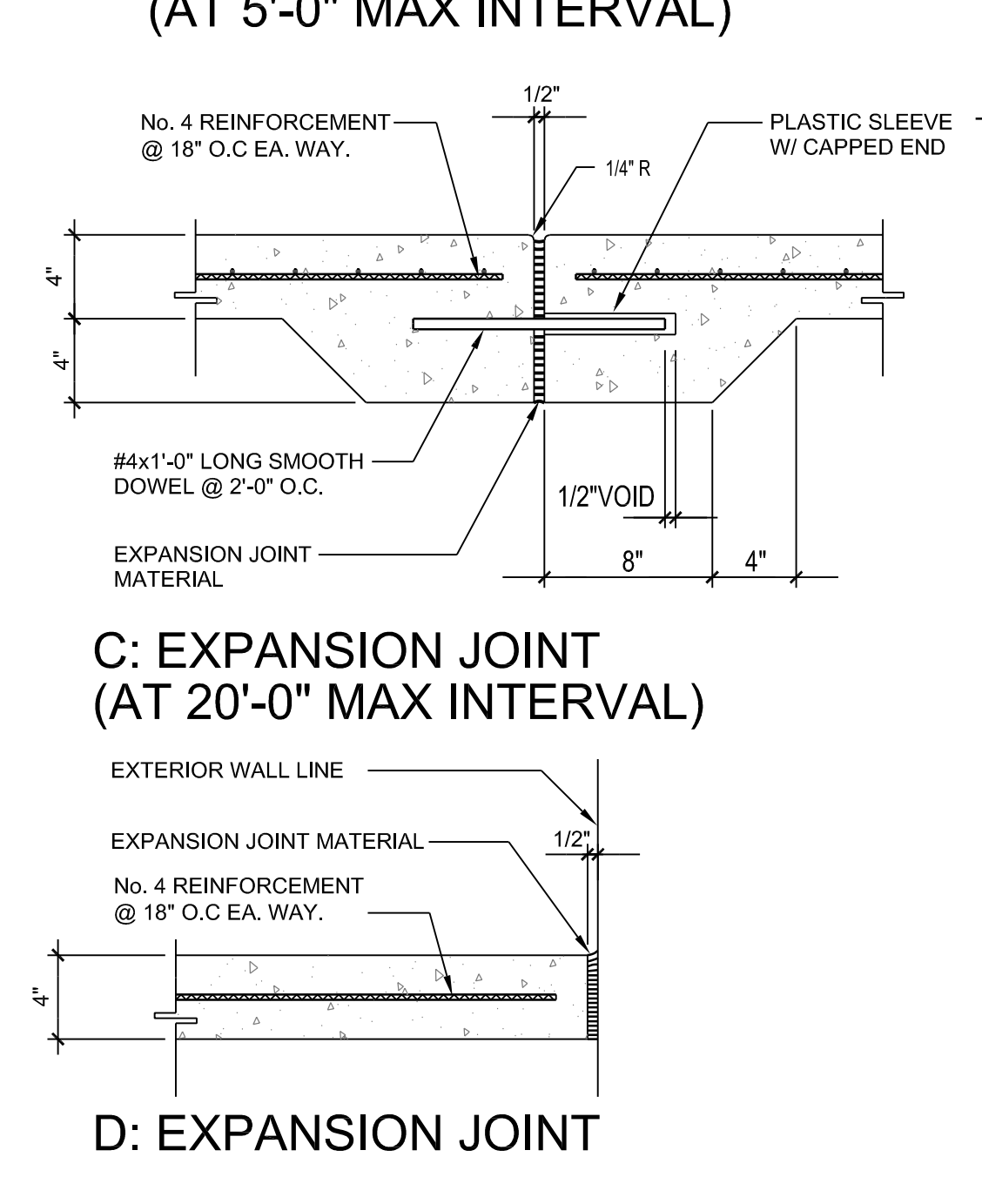
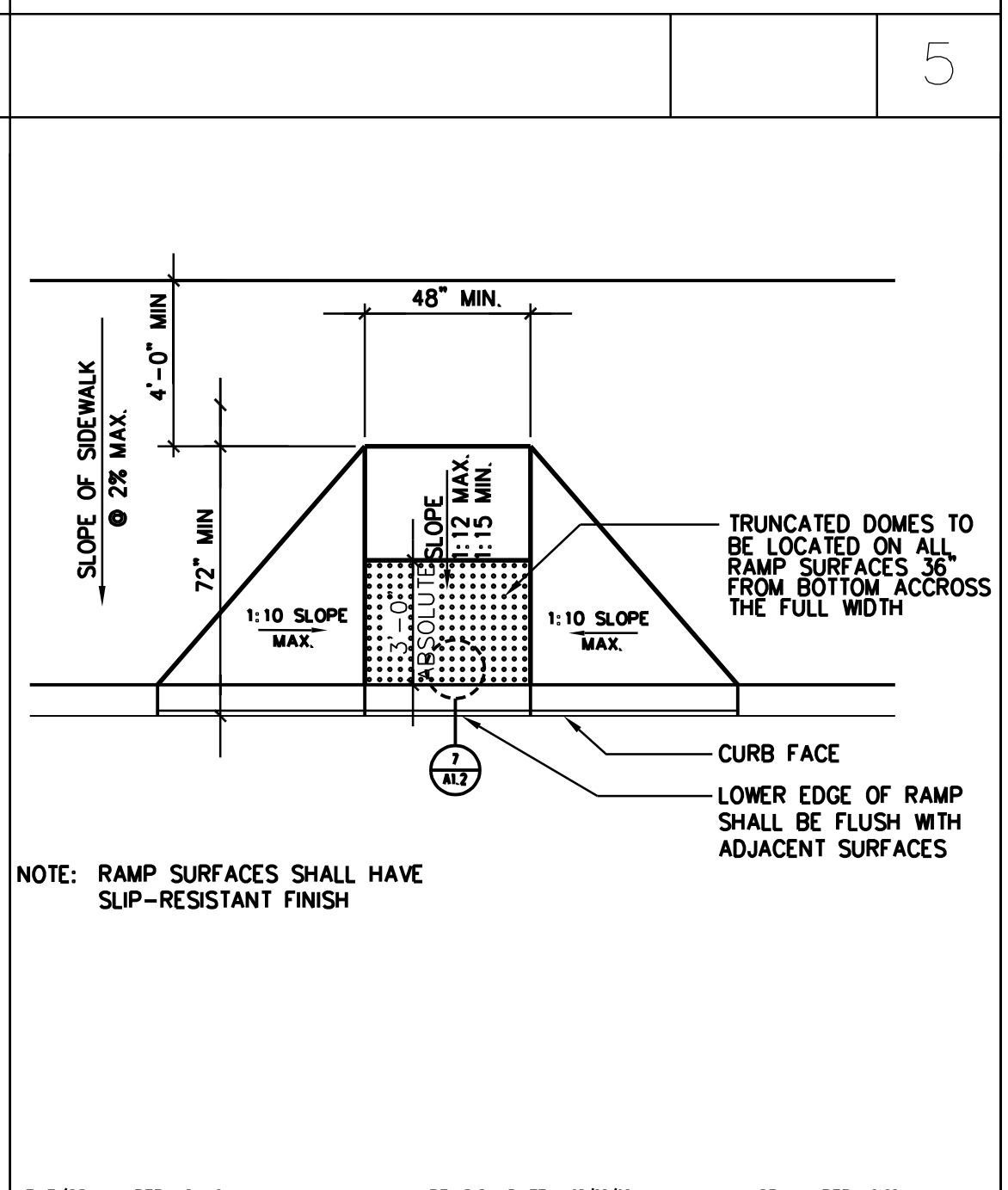
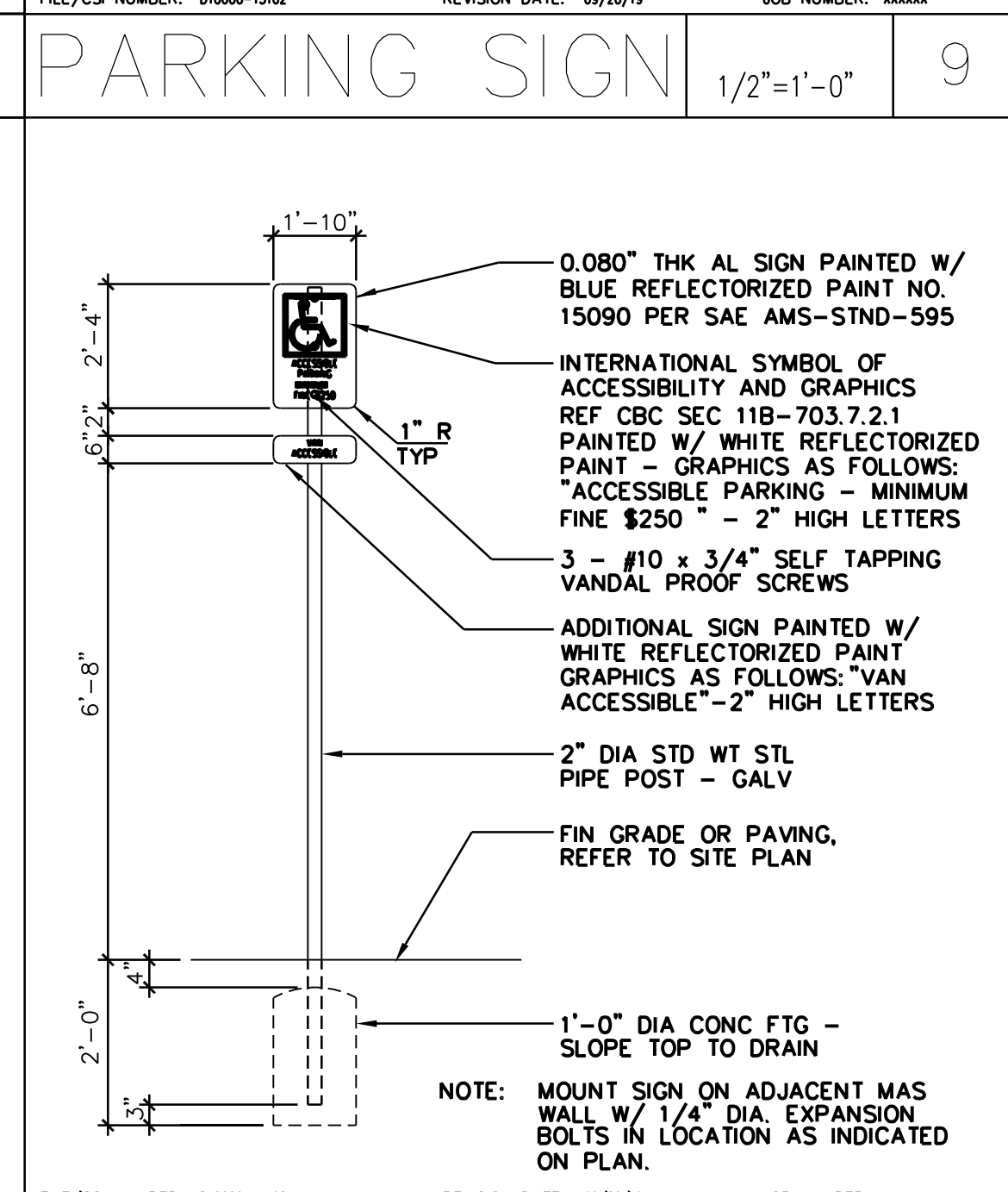
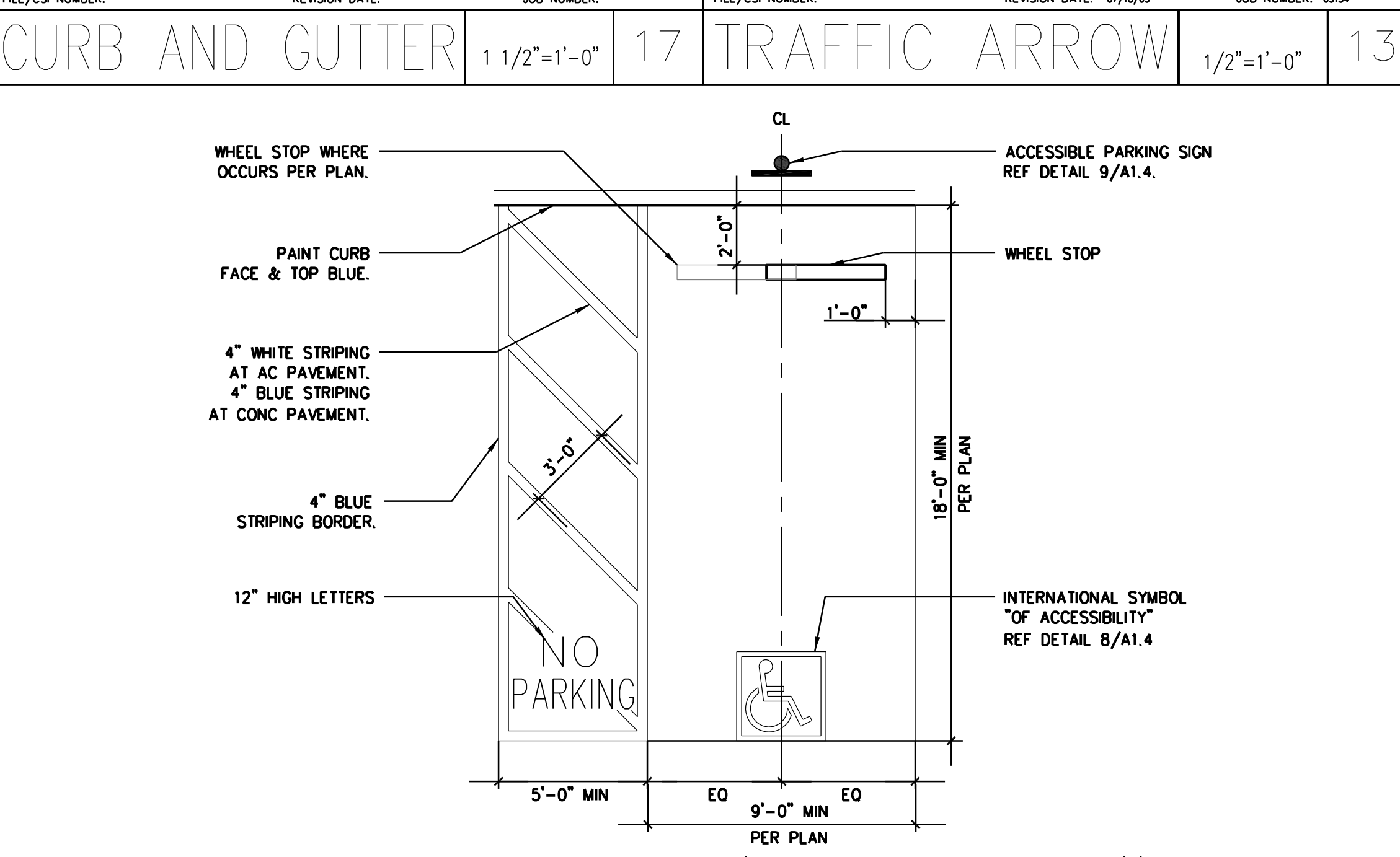
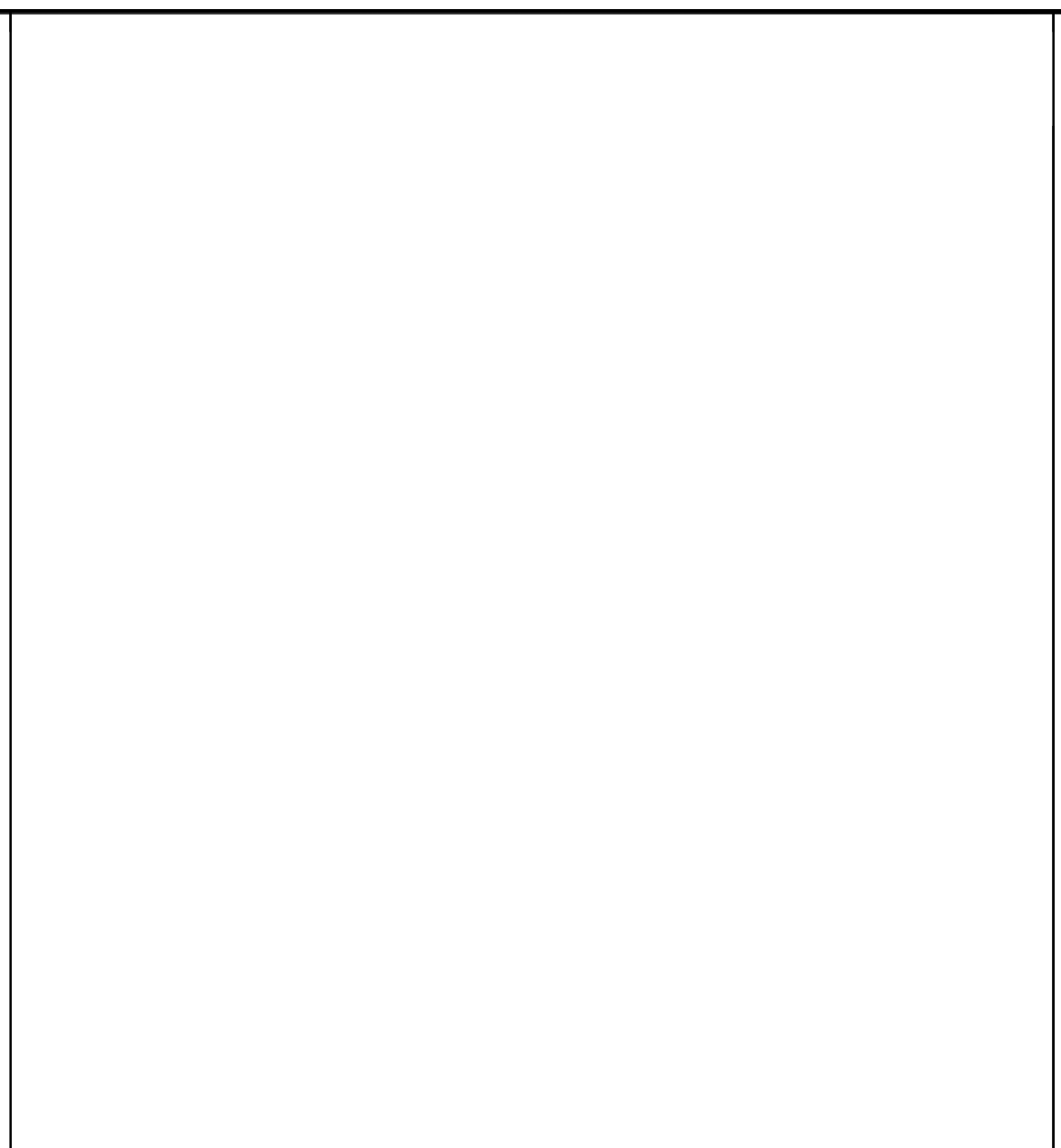
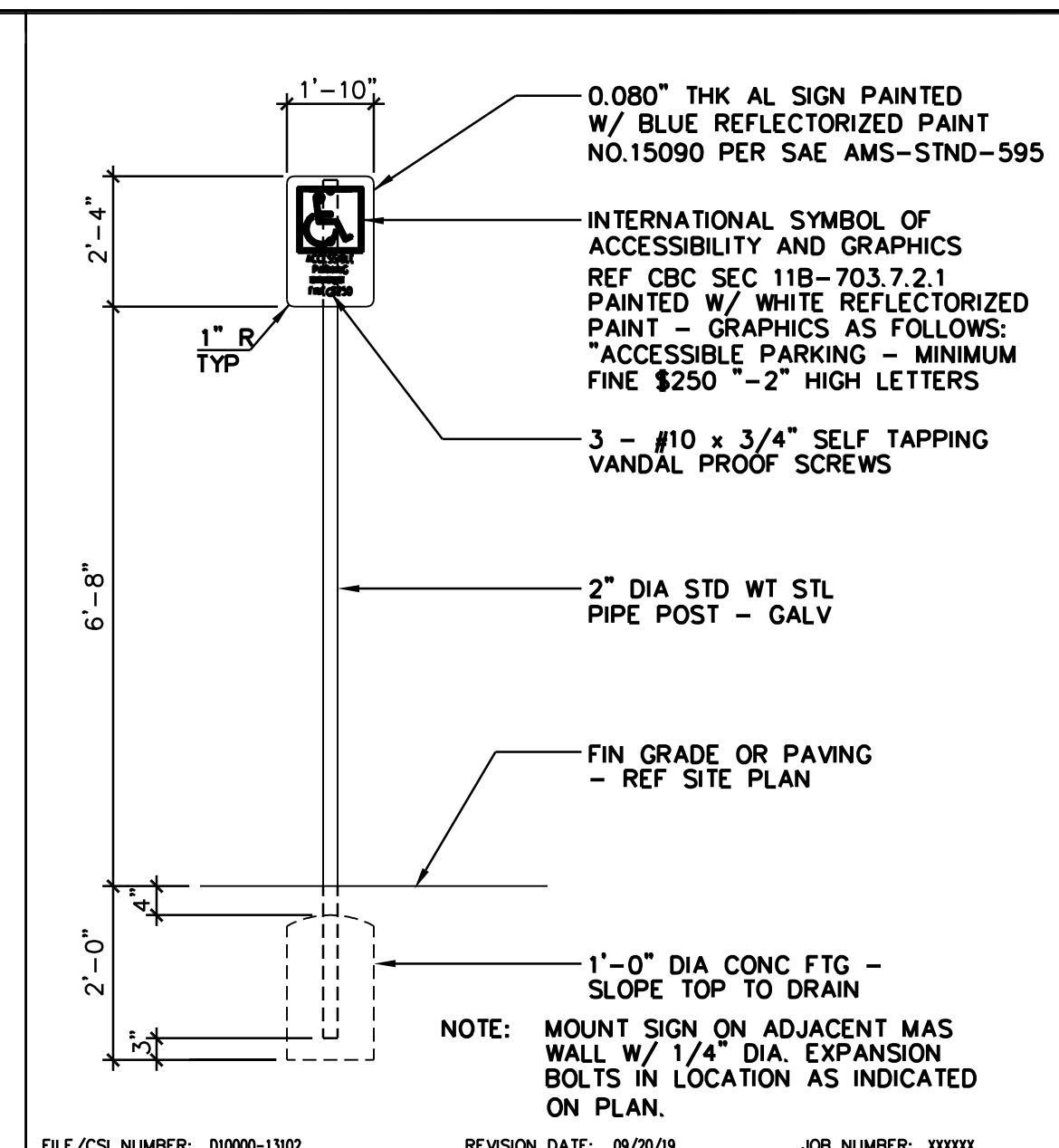
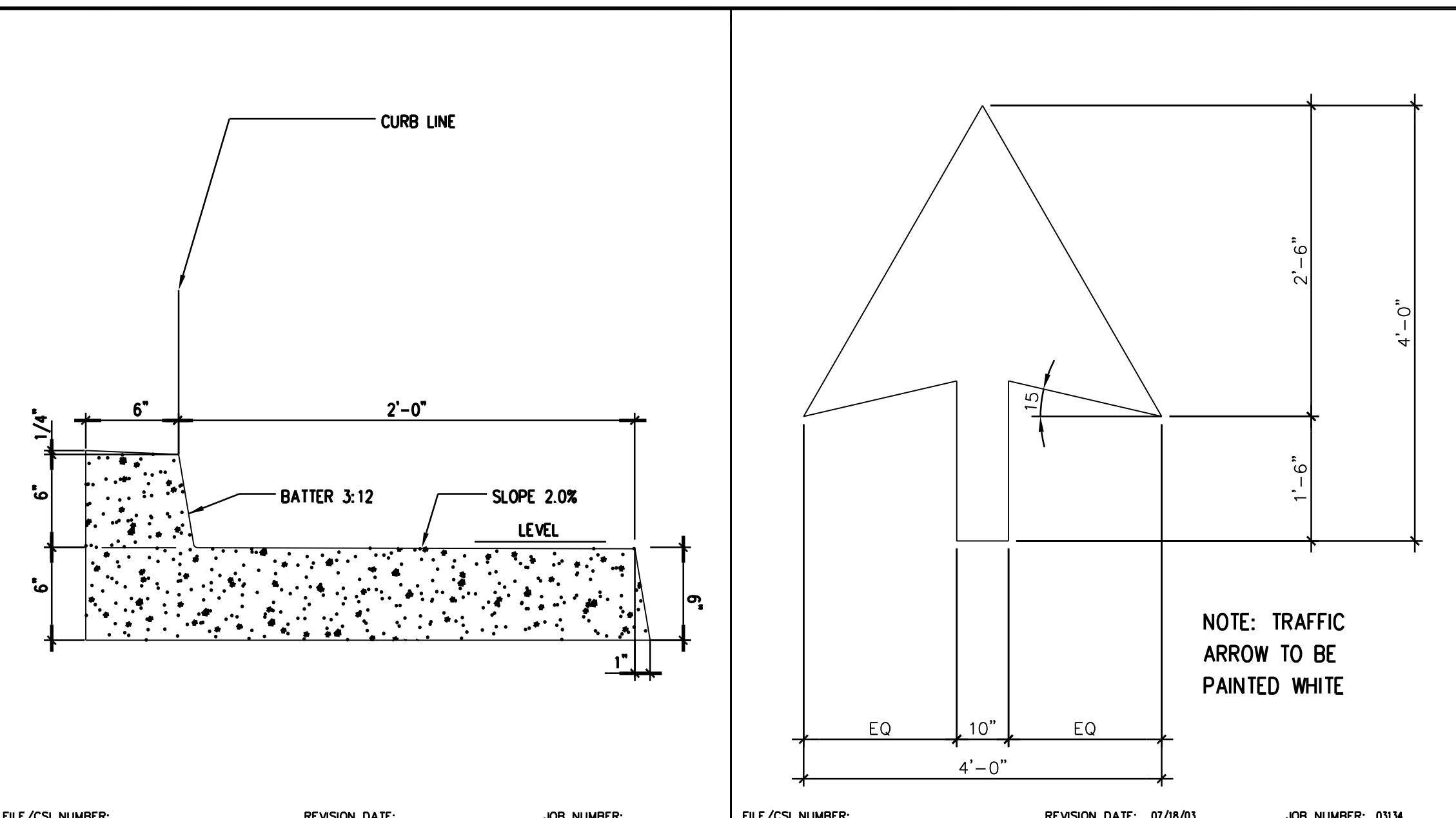
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

ENLARGED SITE PLAN

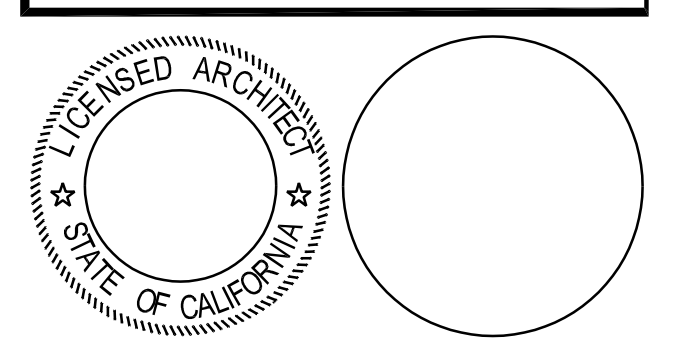
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GENERAL NOTES



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

VESD MAINTENANCE & OPERATION OFFICE
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
14875 S. MOJAVE DR.
VICTORVILLE, CA 92395



CONSULTANT			

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01

DRAWN: WLC	CHECKED: .
DATE: 02/24/2023	SCALE: AS NOTED
PROJECT NUMBER: 000000	

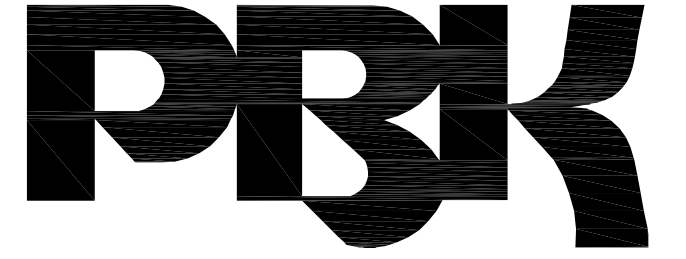
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MOJAVE VISTA ELEMENTARY SCHOOL PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

16100 BURNWOOD AVE.

VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.
- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT: 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS OUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.
- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 4	

PROJECT TEAM

PROJECT ADDRESS
MOJAVE VISTA ELEMENTARY SCHOOL
16100 BURNWOOD AVE.,
VICTORVILLE, CA 92395
PHONE: 760-245-7961

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

**MOJAVE VISTA ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
16100 BURNWOOD AVE.
VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS

DETAIL
10 = DETAIL DESIGNATION
8.3 = REFERENCE DRAWING NUMBER

REVISION
3 = REVISION NUMBER

REFERENCE NOTE IDENTIFICATION

--- CENTER LINES, FLOOR LINES AND LEVEL LINES
- - - SECTION LINES
___ PROPERTY LINES, BOUNDARY LINES AND MATCH LINES

ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHIT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

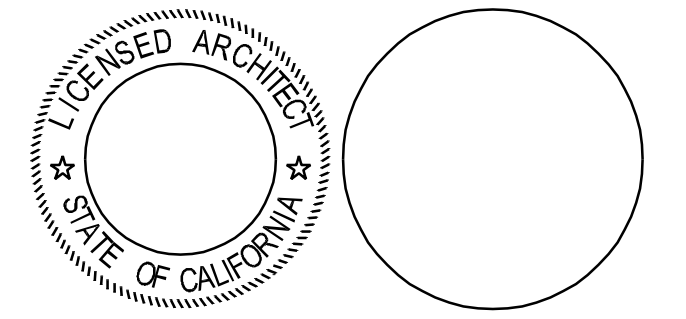
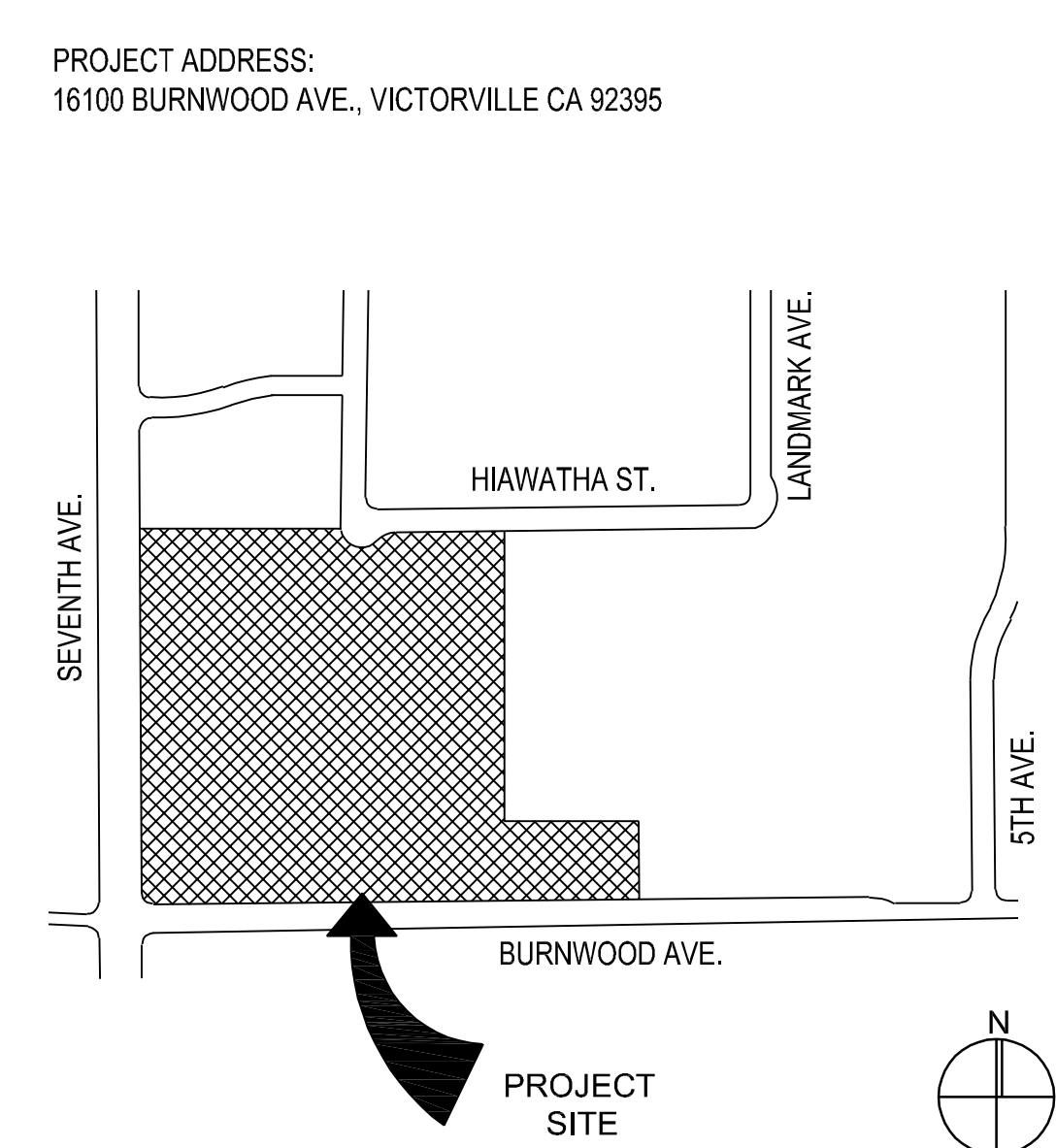
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



CONSULTANT

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

DRAWN: _____ **CHECKED:** _____
DATE: 02/24/2023 **SCALE:** _____
PROJECT NUMBER: 000000

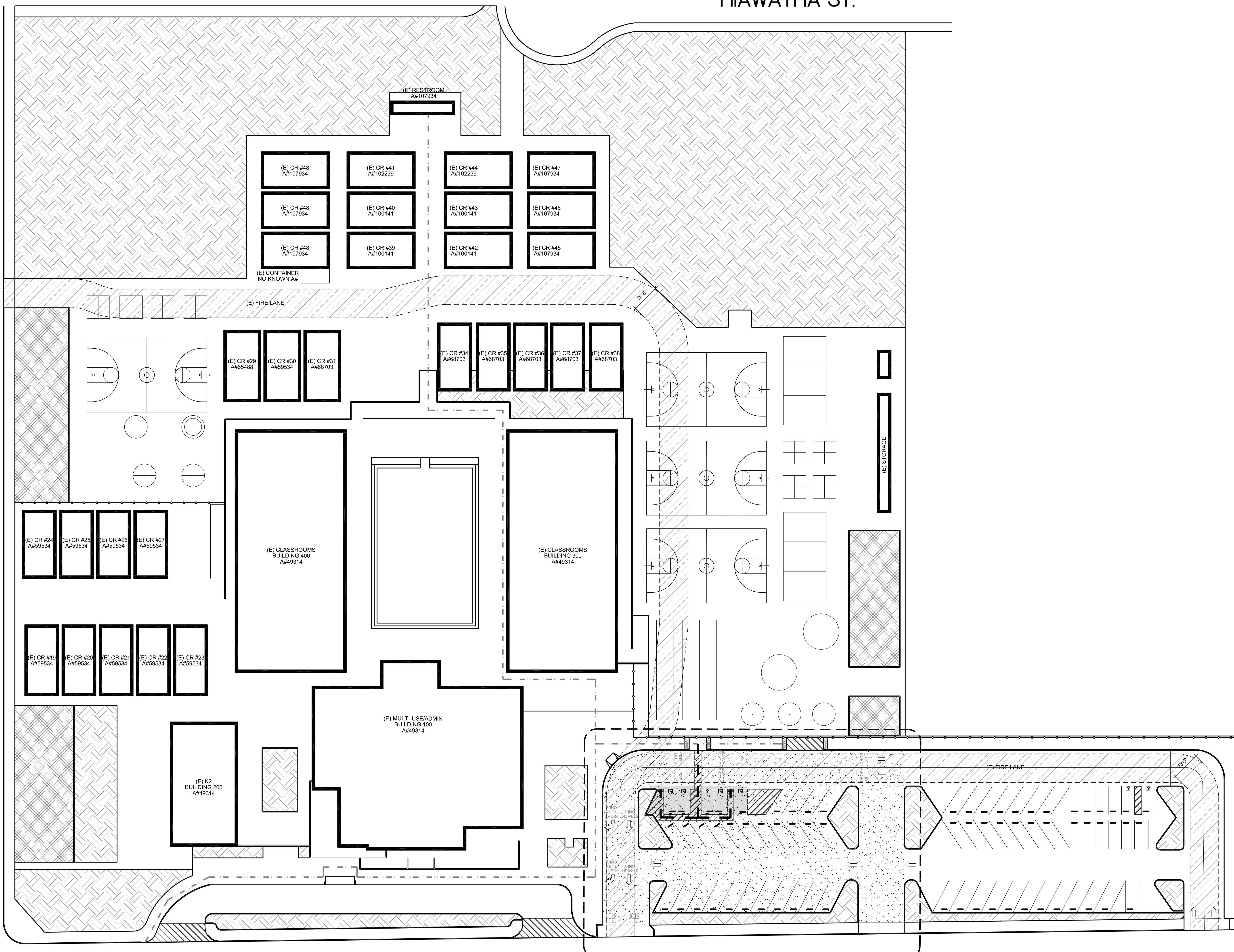
GENERAL NOTES & PROJECT DIRECTORY

DRAWING NUMBER: A0.1

SEVENTH ST.

HIAWATHA ST.

BURWOOD AVE.



TOTAL PARKING SPACES = 84	STALL TYPE		
ACCESSIBLE PARKING SPACE REQ'D = 4	STANDARD	ACCESSIBLE	TOTAL
	80	2	84

PARK CALCULATION

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:

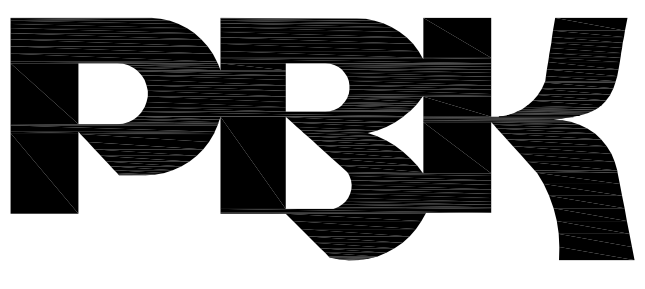
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTIONS OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCONFORMING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS A PART OF THIS PROJECT BY MEANS OF CONSTRUCTION CHANGE DOCUMENT.

--- (E) P.O.T.
--- (N) P.O.T.

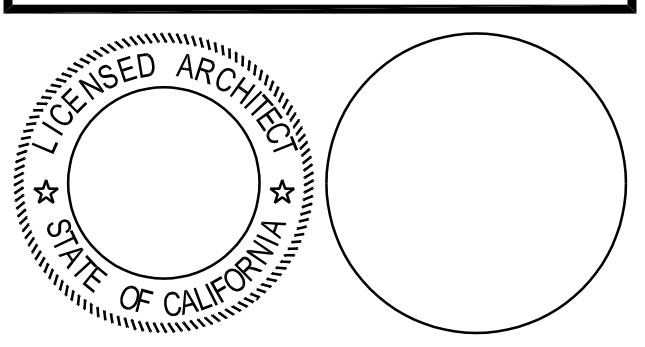
PATH OF TRAVEL

- AREA OF SLURRY COAT, STRIPING, & PAVEMENT
- (E) LANDSCAPE
- (E) FIRE LANE 20'-0" MIN CLR



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

**MOJAVE VISTA ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL**
VICTOR ELEMENTARY SCHOOL DISTRICT
16100 BURWOOD AVE.
VICTORVILLE, CA 92395



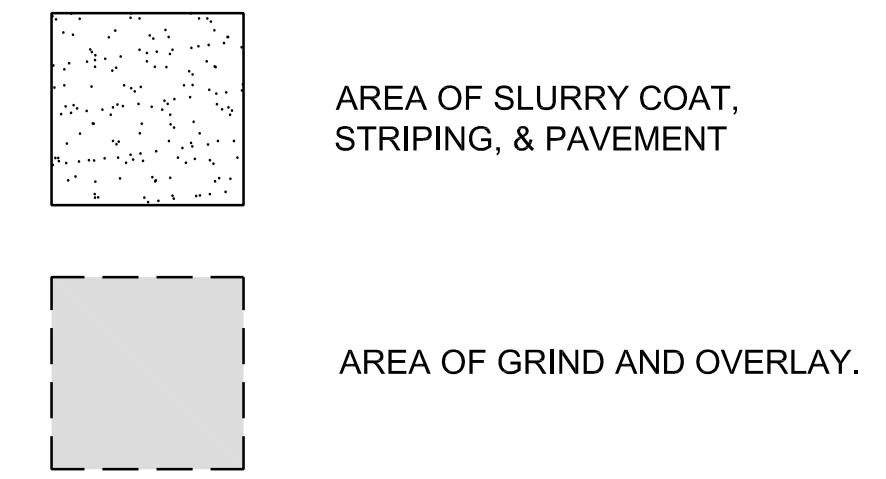
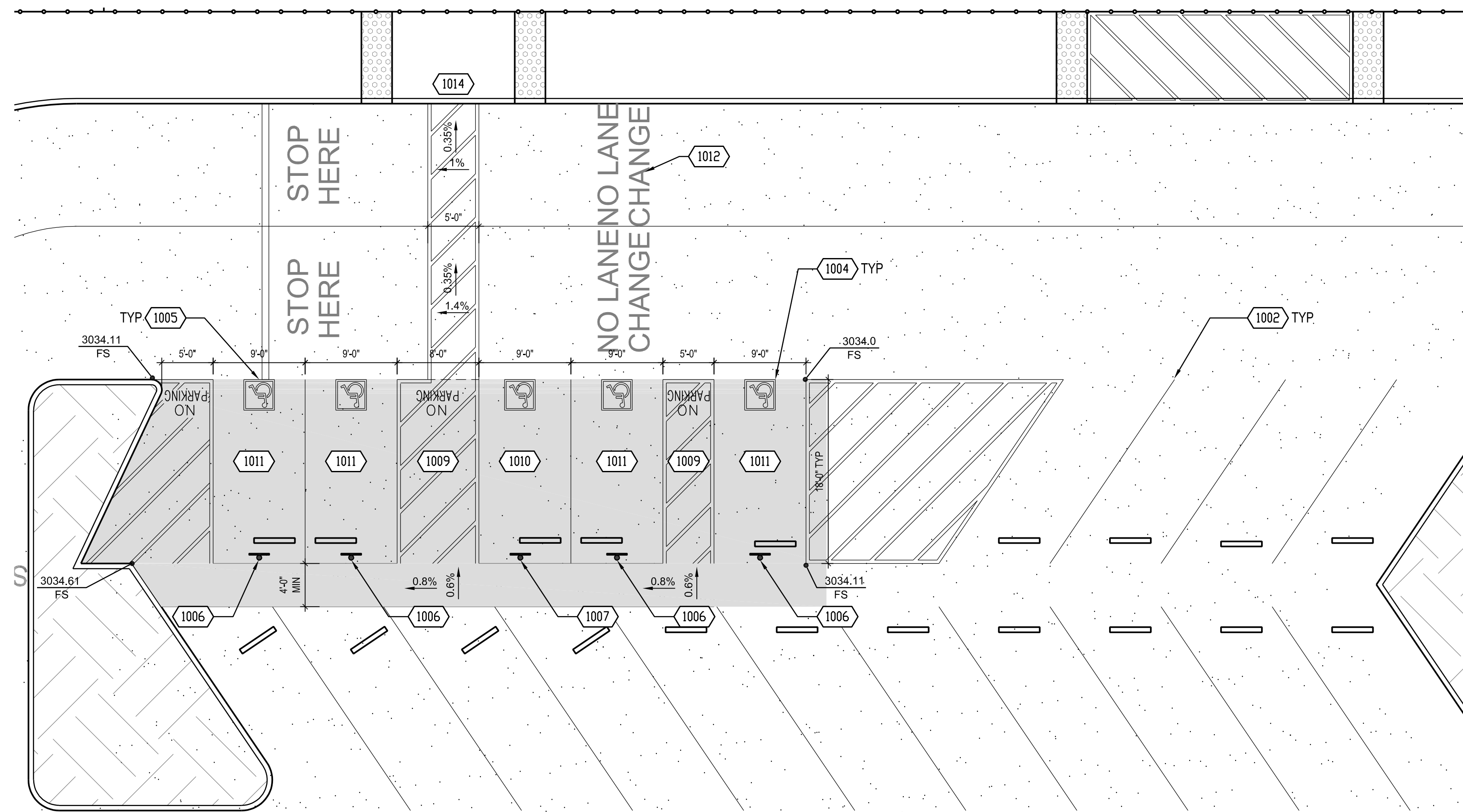
CONSULTANT

1	5/1/23	PRK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

OVERALL SITE PLAN

DRAWING NUMBER: **A1.0**

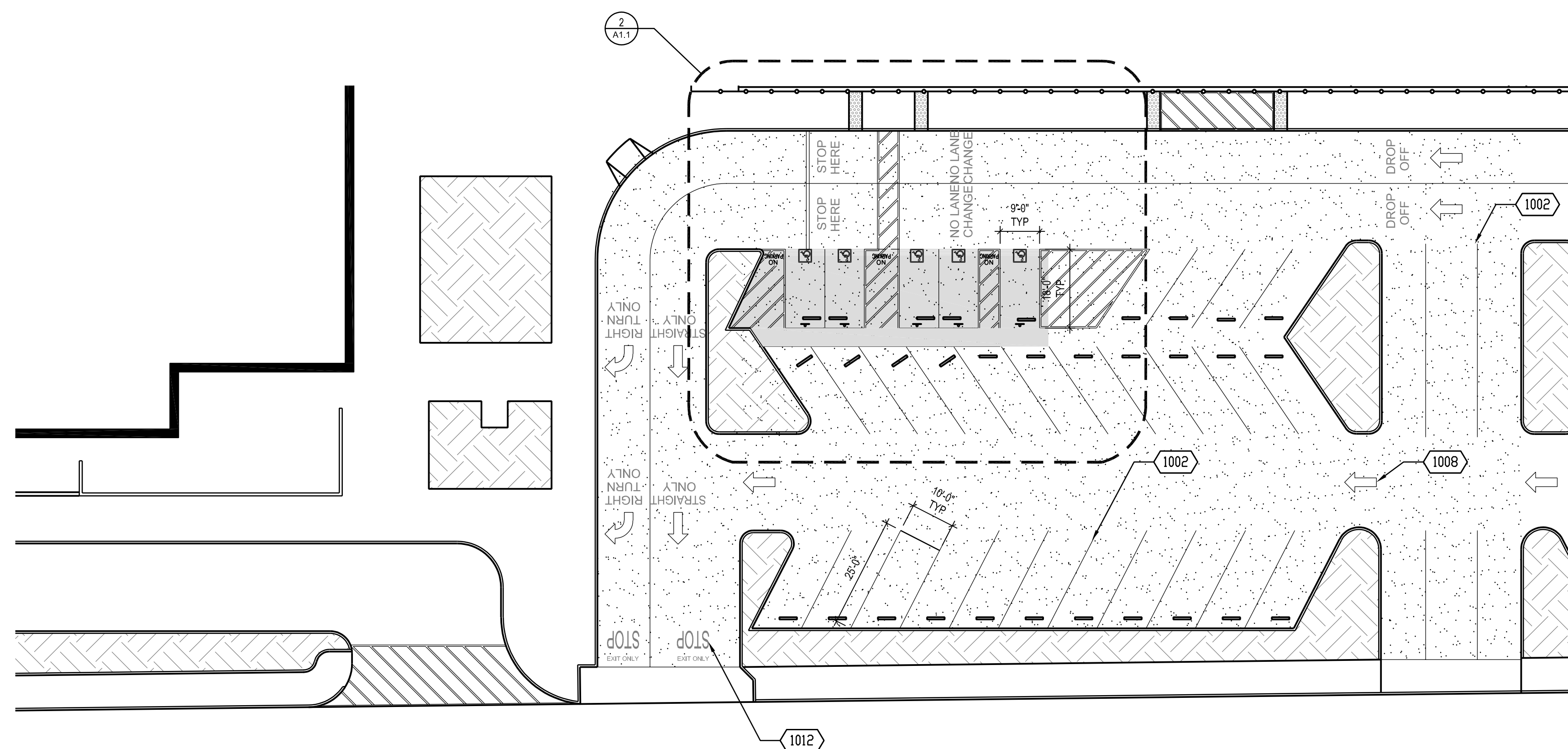


ENLARGED ACCESSIBLE PARKING - PARKING LOT

1/8" = 1'-0"

2

SITE LEGEND



BURWOOD AVE.

ENLARGED SITE PLAN - PARKING LOT

1" = 20'-0"

1

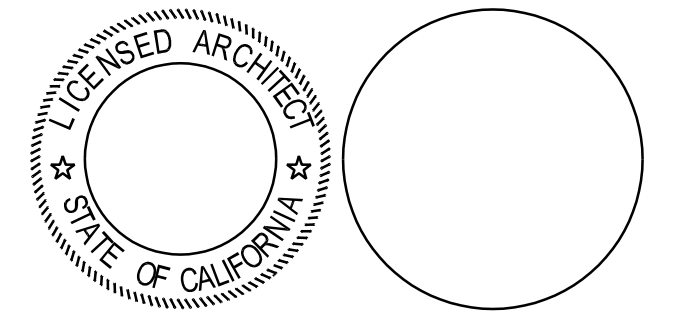
REFERENCE NOTES

- 1001 (E) TOW-AWAY SIGN.
- 1002 4" WIDE WHITE PAVEMENT STRIPING.
- 1003 (E) WHEEL STOP, RELOCATE AS REQUIRED.
- 1004 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
- 1005 12" H PAINTED WHITE TEXT.
- 1006 ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
- 1007 VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
- 1008 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
- 1009 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
- 1010 VAN ACCESSIBLE PARKING, REF TO DETAIL 15/A1.2.
- 1011 ACCESSIBLE PARKING, REF TO DETAIL 14/A1.2.
- 1012 4'-0" H PAINTED WHITE TEXT.
- 1013 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE WHITE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
- 1014 (E) CURB RAMP.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

MOJAVE VISTA ELEMENTARY SCHOOL
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
16100 BURWOOD AVE.
VICTORVILLE, CA 92395



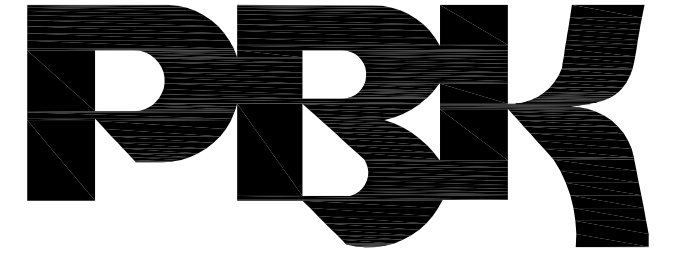
CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

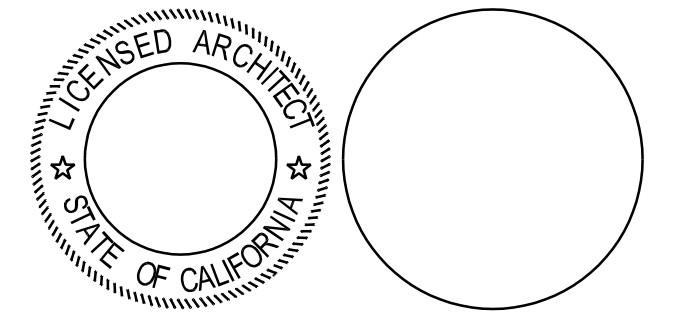
ENLARGED
SITE PLAN

DRAWING NUMBER: **A1.1**



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

**MOJAVE VISTA ELEMENTARY SCHOOL
 PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT**
 16100 BURWOOD AVE.
 VICTORVILLE, CA 92395



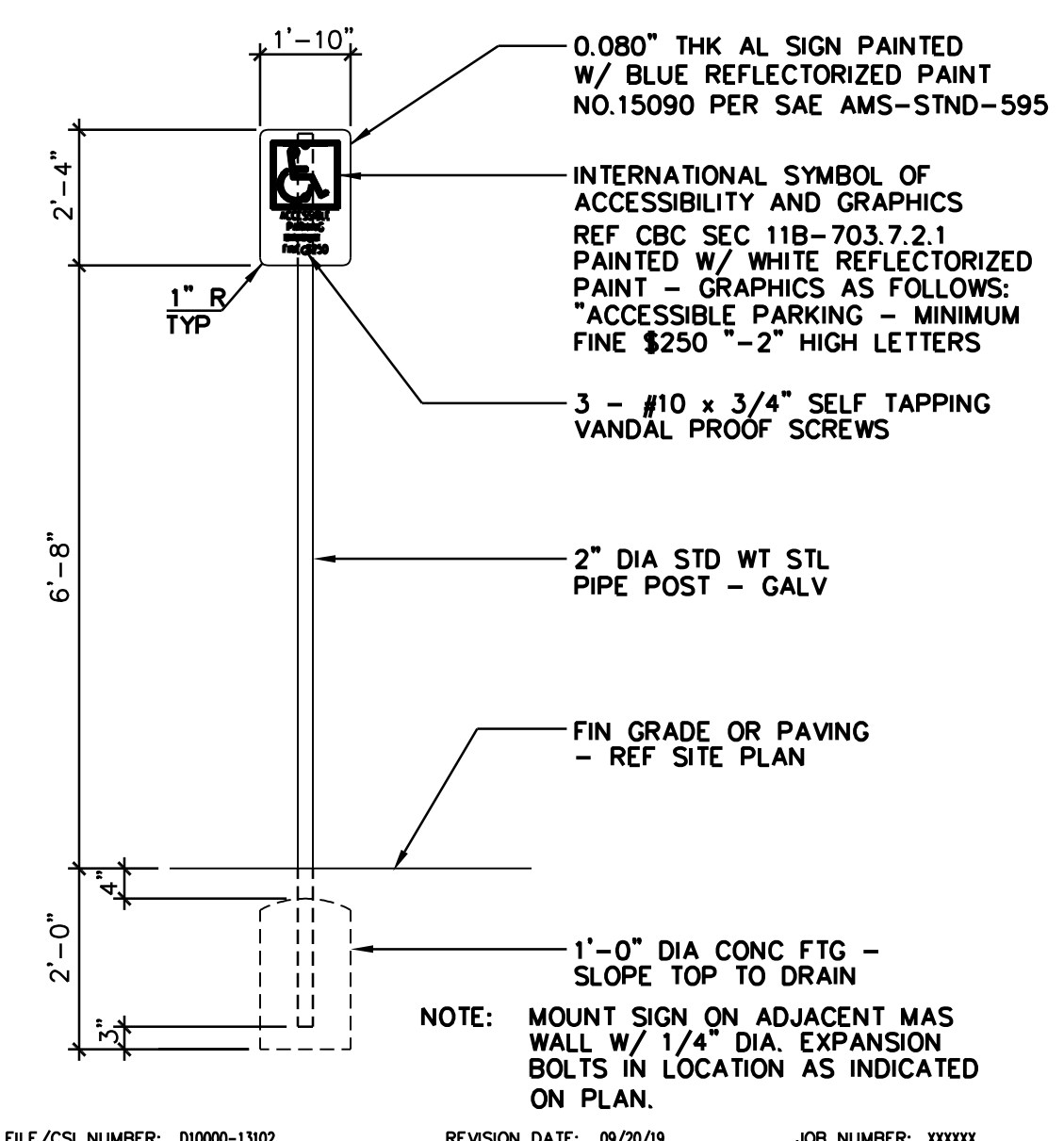
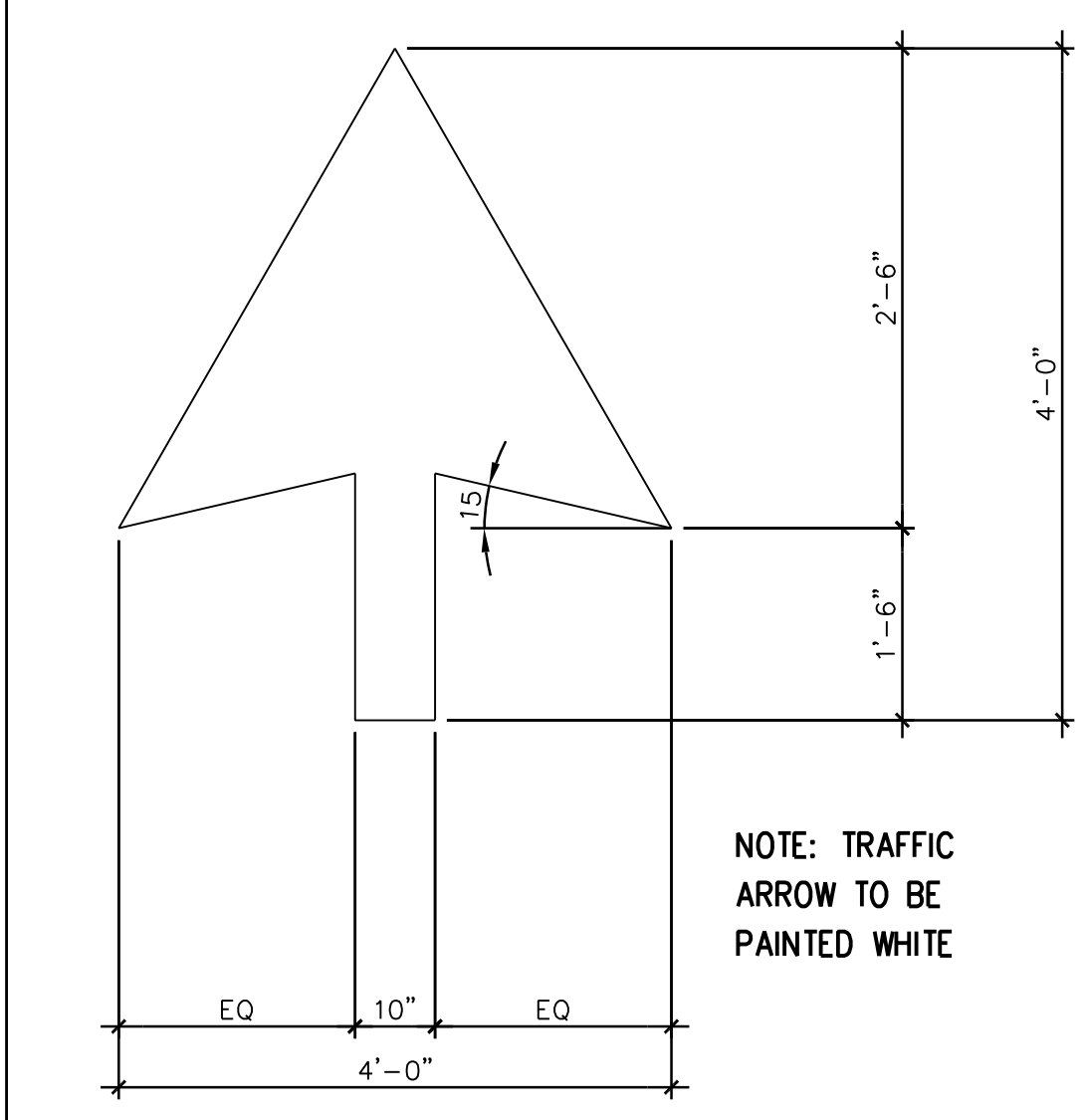
CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

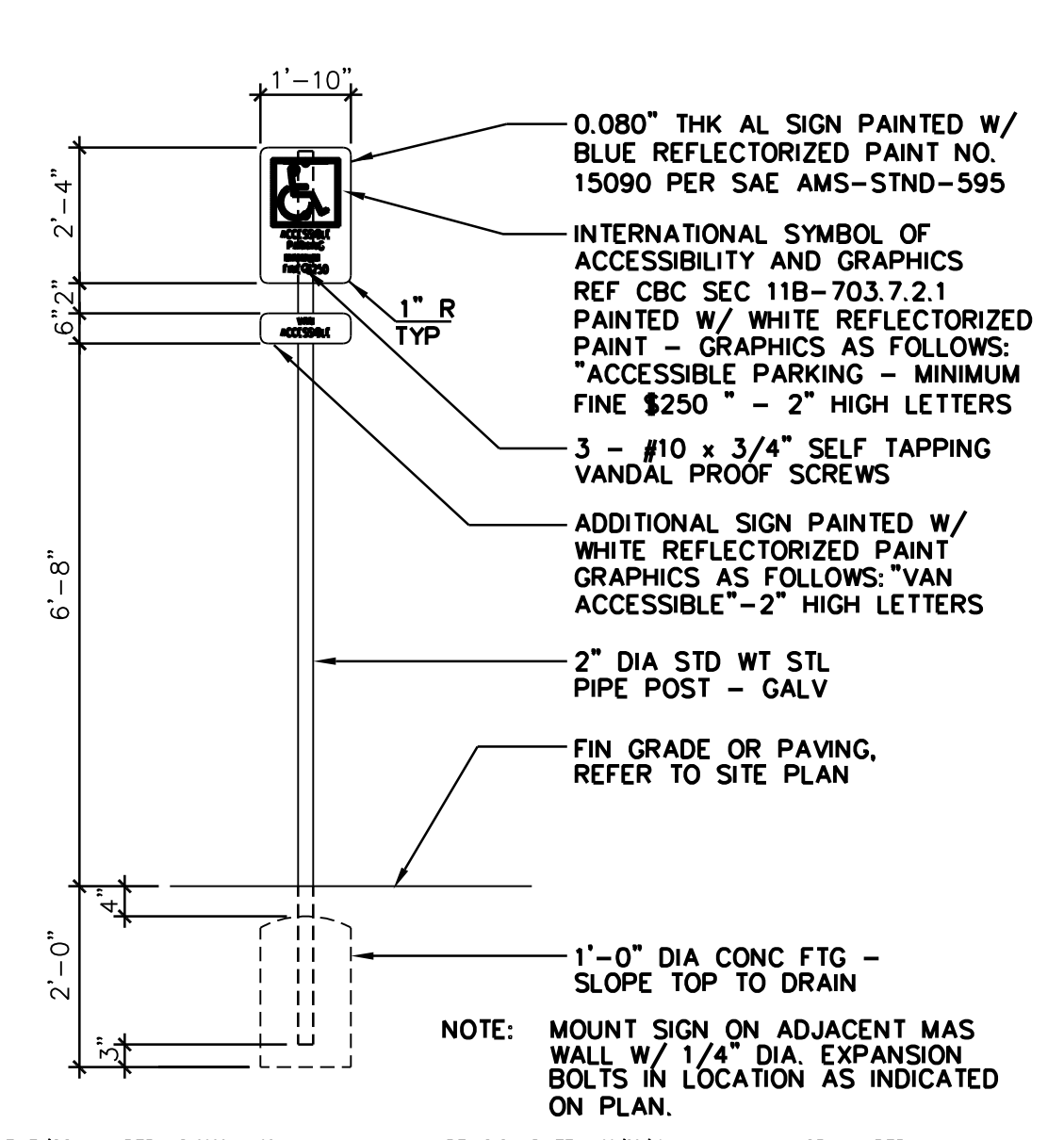
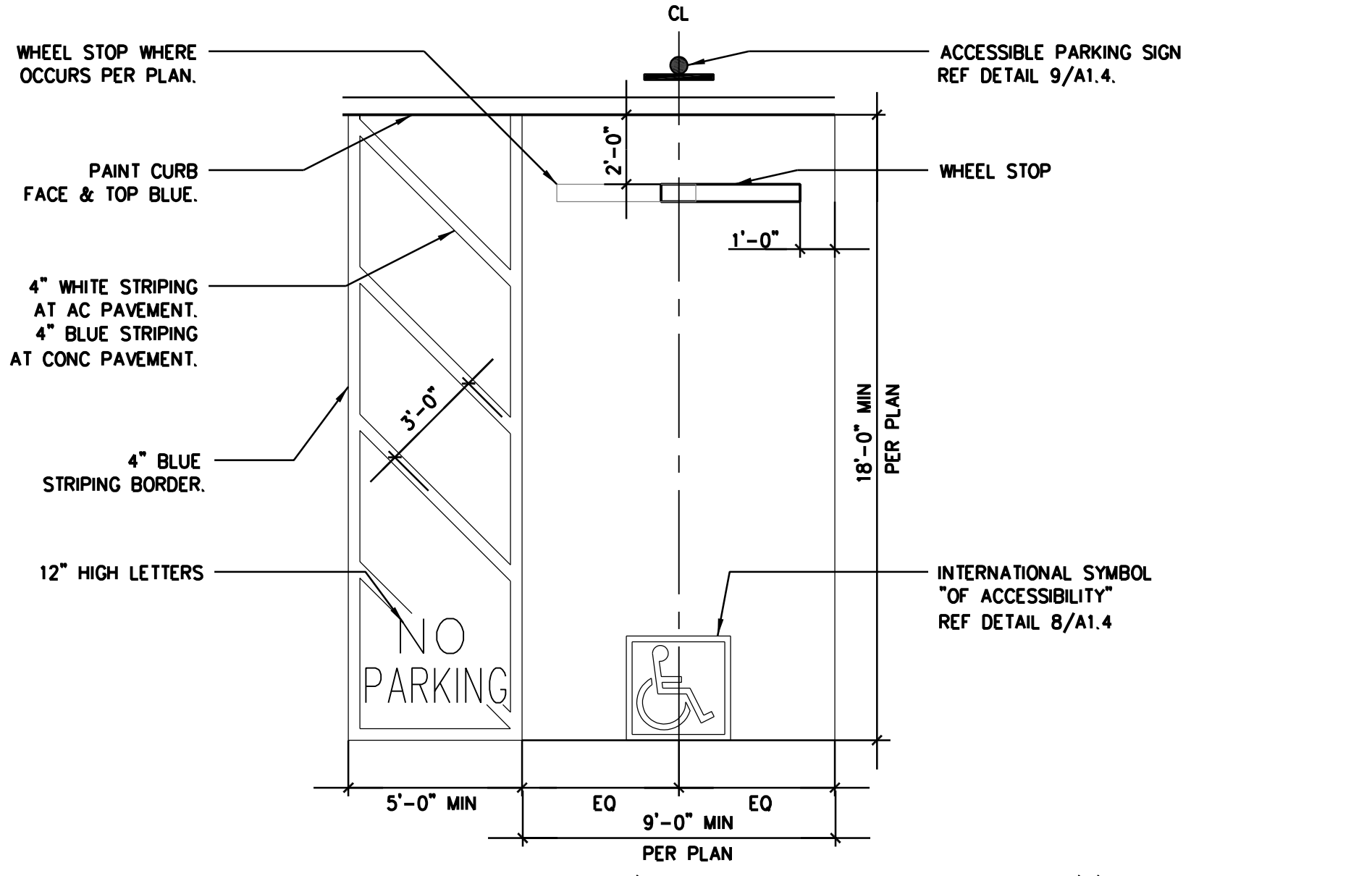
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 DATE: 02/24/2023 SCALE: AS NOTED
 PROJECT NUMBER: 000000

DETAILS

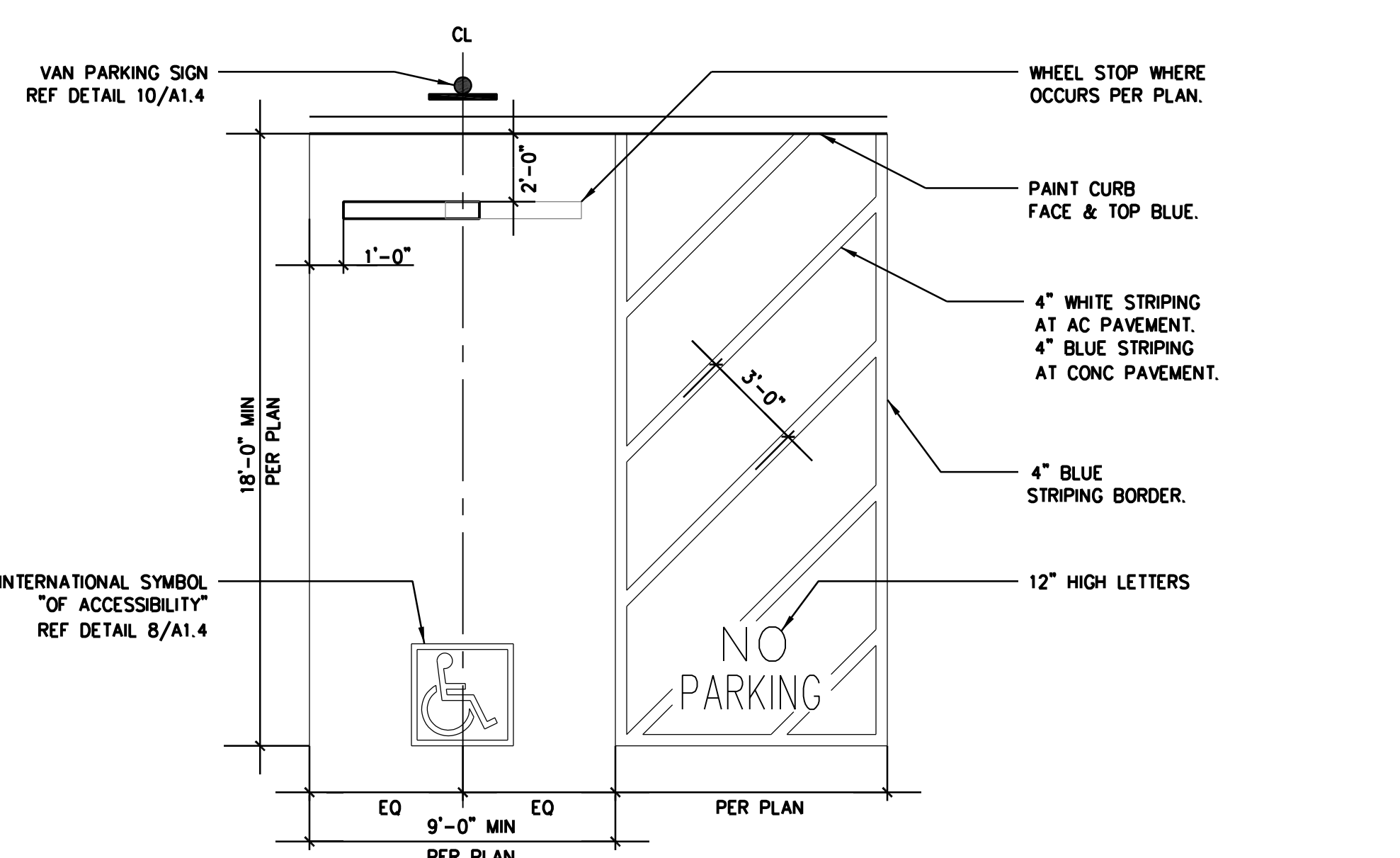
DRAWING NUMBER: **A1.2**



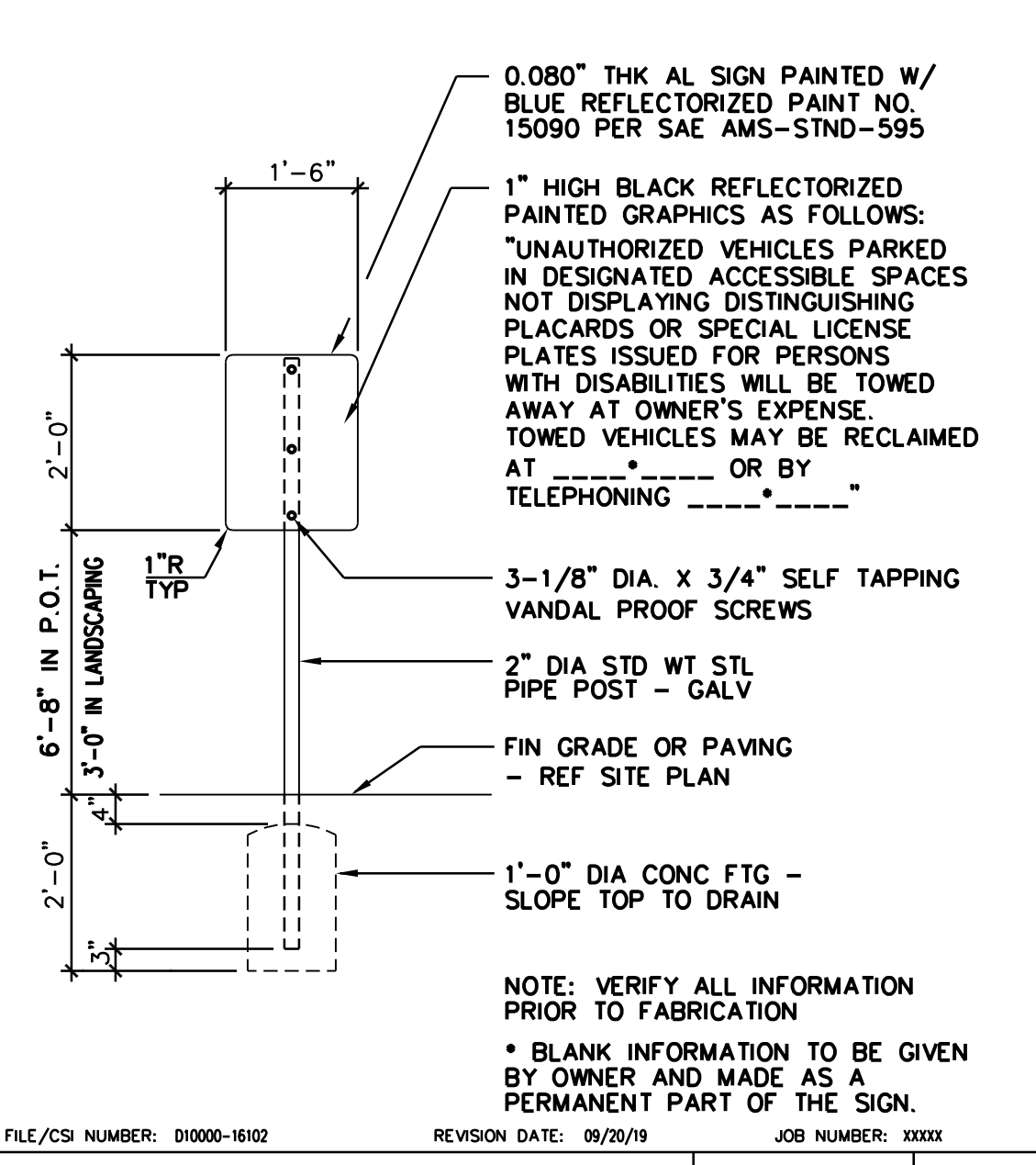
21	17	TRAFFIC ARROW	1/2"=1'-0"	13	PARKING SIGN	1/2"=1'-0"	9	5
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22	14	ACCESSIBLE PARKING	1/4"=1'-0"	14	PARKING SIGN	1/2"=1'-0"	10	6	2
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23	15	VAN ACCESSIBLE PARKING	1/4"=1'-0"	15			11	7	3
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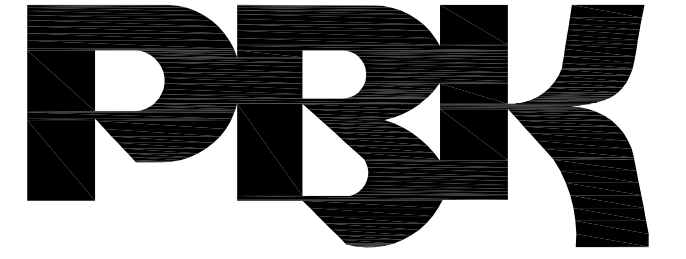
24	20			16	PARKING SIGN	1/2"=1'-0"	12	8	4
----	----	--	--	----	--------------	------------	----	---	---

SIXTH STREET PREP STREAM PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

15476 6TH ST.

VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.

- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT: 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

18. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CCD MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. THE CCD SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGE ORDER.

19. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.

- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 4	

PROJECT TEAM

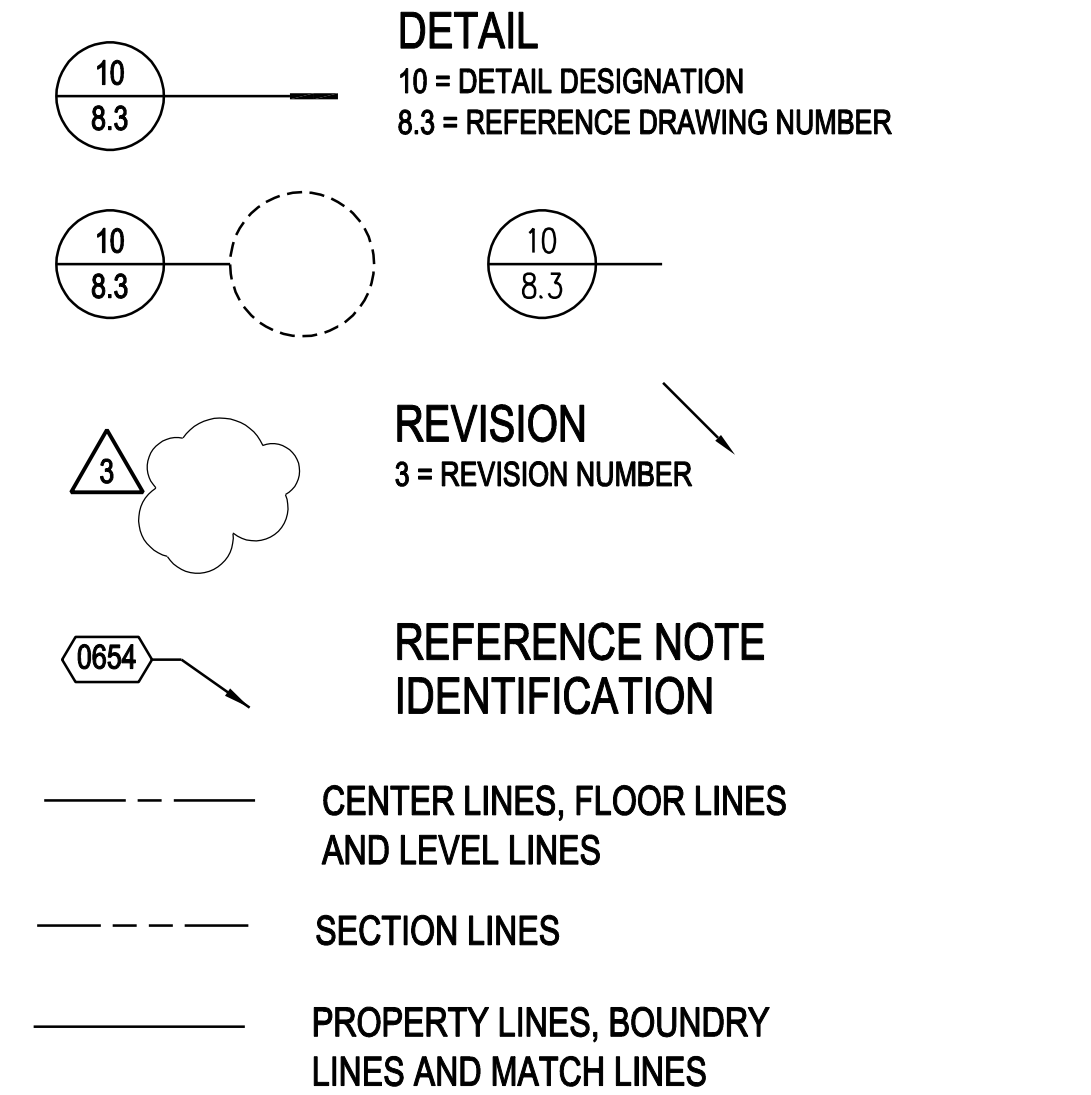
PROJECT ADDRESS
MOJAVE VISTA ELEMENTARY SCHOOL
16100 BURNWOOD AVE.,
VICTORVILLE, CA 92395
PHONE: 760-245-7961

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

**SIXTH STREET PREP STREAM
PARKING LOT SLURRY SEAL**
 VICTOR ELEMENTARY SCHOOL DISTRICT
 15476 6TH ST.
 VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS



ABBREVIATIONS

&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

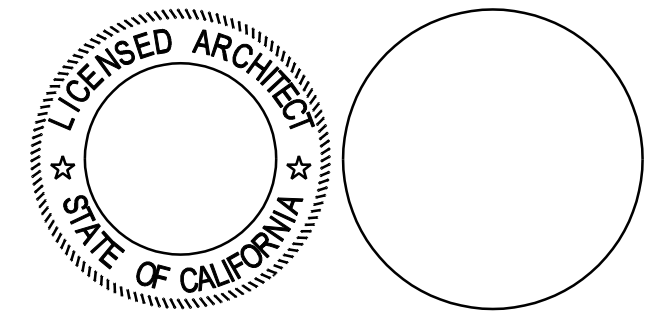
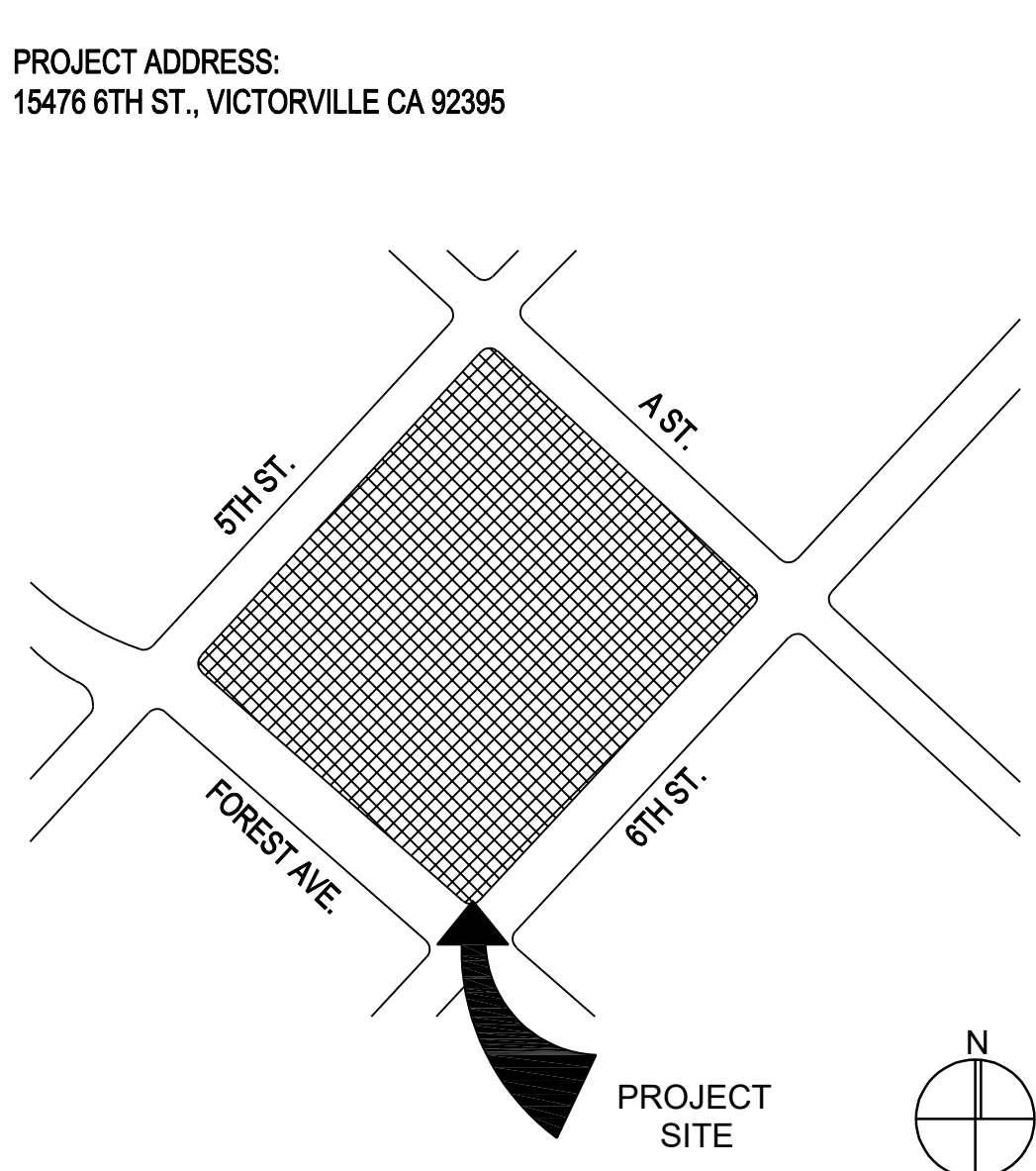
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



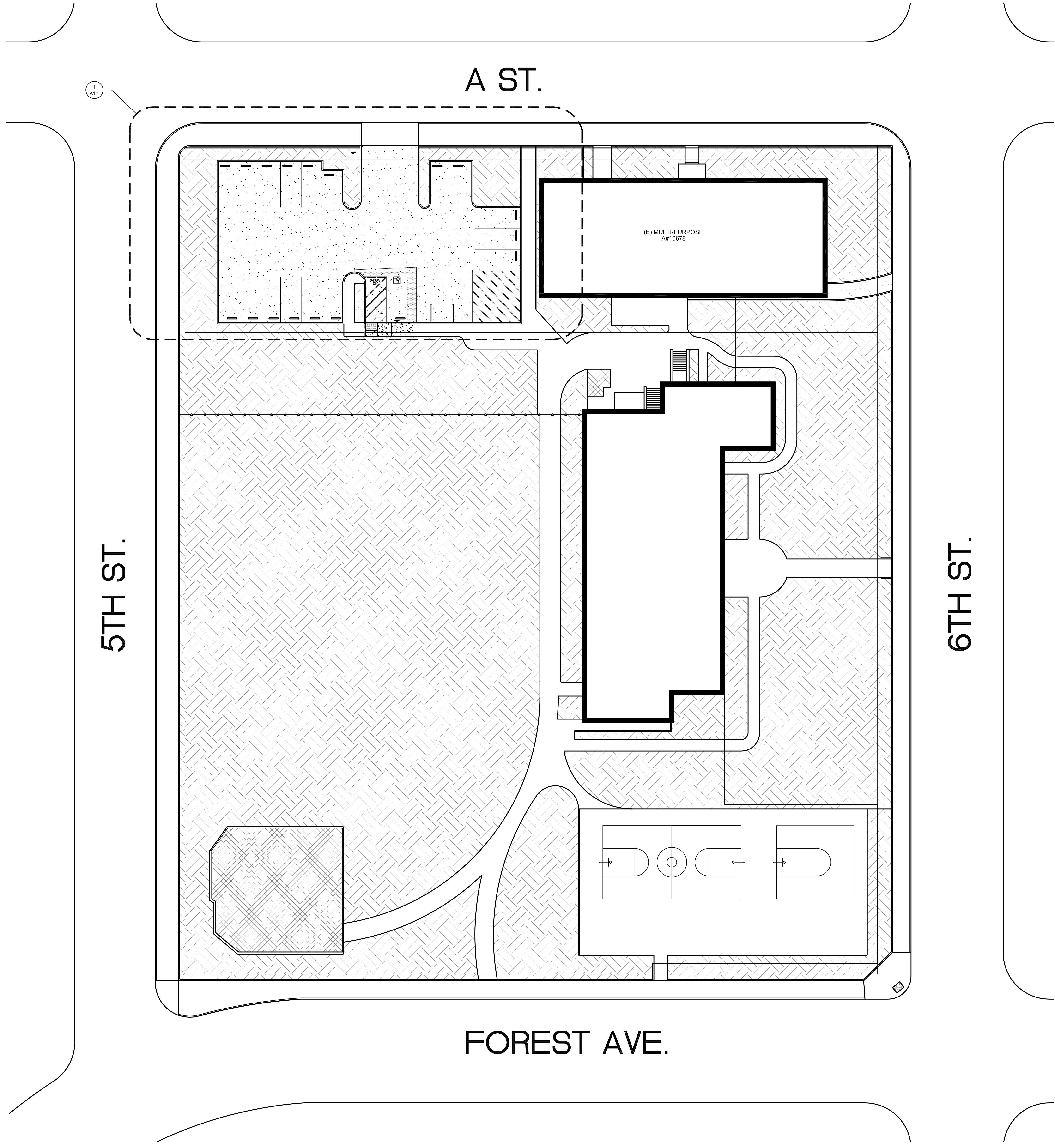
CONSULTANT

NO	DATE	BY	DESCRIPTION
1	5/1/2023	PBK	ADDENDUM 01
REVISIONS			

DRAWN: _____ **CHECKED:** _____
DATE: 02/24/2023 **SCALE:** _____
PROJECT NUMBER: 000000

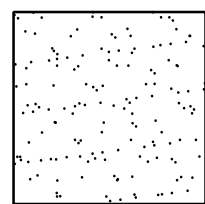
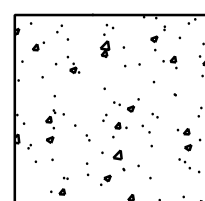
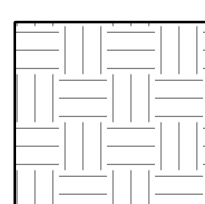
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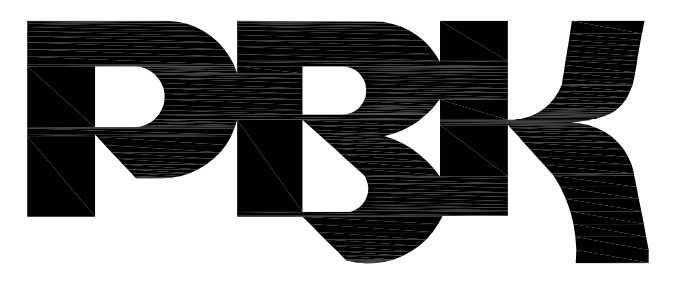
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TOTAL PARKING SPACES = 18	STALL TYPE			
ACCESSIBLE PARKING SPACE REQ'D = 1	STANDARD	ACCESSIBLE		TOTAL
		STANDARD	VAN	
	17	0	1	18

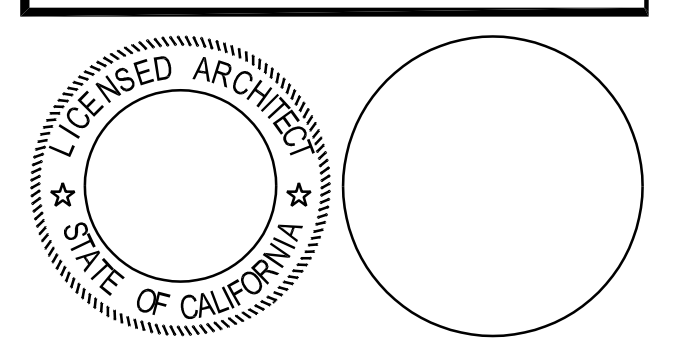
PARK CALCULATION

-  AREA OF SLURRY COAT.
-  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK.
-  (E) LANDSCAPE



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

**SIXTH STREET PREP STREAM
 PARKING LOT SLURRY SEAL**
 VICTOR ELEMENTARY SCHOOL DISTRICT
 15476 6TH ST.
 VICTORVILLE, CA 92395



CONSULTANT

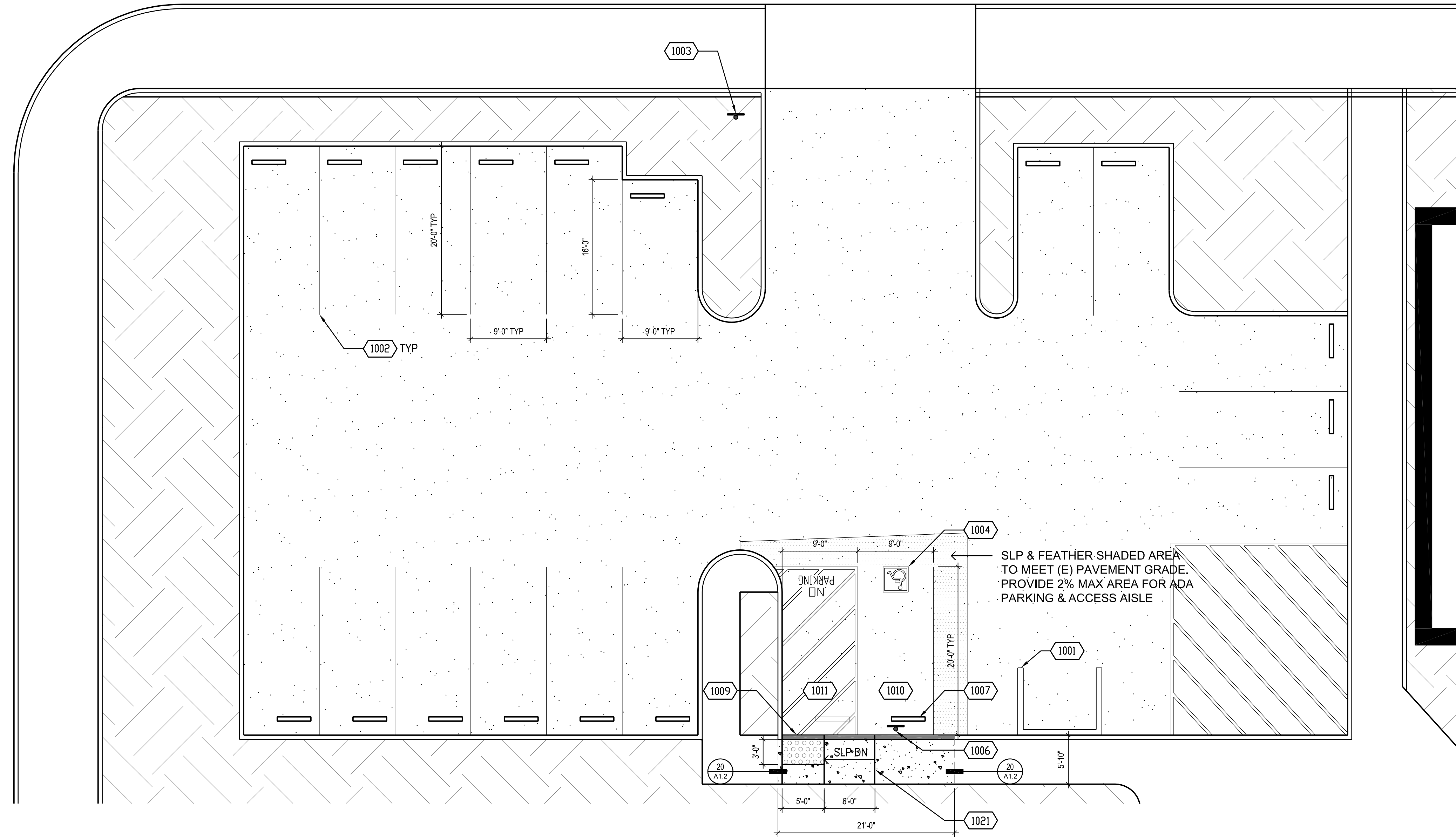
1	5/1/2023	PBK	ADDENDUM 01

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: CHECKED:
 DATE: 02/24/2023 SCALE:
 PROJECT NUMBER: 000000

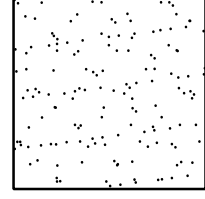
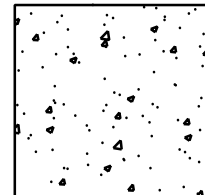
**OVERALL
 SITE PLAN**

DRAWING NUMBER: **A1.0**



TOTAL PARKING SPACES = 18	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 1	STANDARD	ACCESSIBLE		18
		STANDARD	VAN	
	17	0	1	

PARK CALCULATION

-  AREA OF SLURRY COAT.
-  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK. PROVIDE EXPANSION JOINTS (EJ) AT 20'-0" MAX INTERVALS, AND CONTROL JOINTS AT 5'-0" MAX INTERVAL BETWEEN EJ.



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

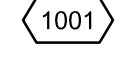
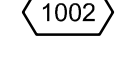
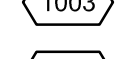
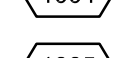
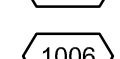
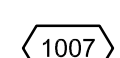
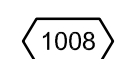
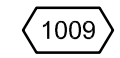
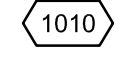
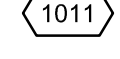
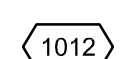
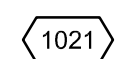

**SIXTH STREET PREP STREAM
 PARKING LOT SLURRY SEAL
 VICTOR ELEMENTARY SCHOOL DISTRICT**
 15476 6TH ST.
 VICTORVILLE, CA 92395

ENLARGED ACCESSIBLE PARKING - PARKING LOT

1/8" = 1'-0"

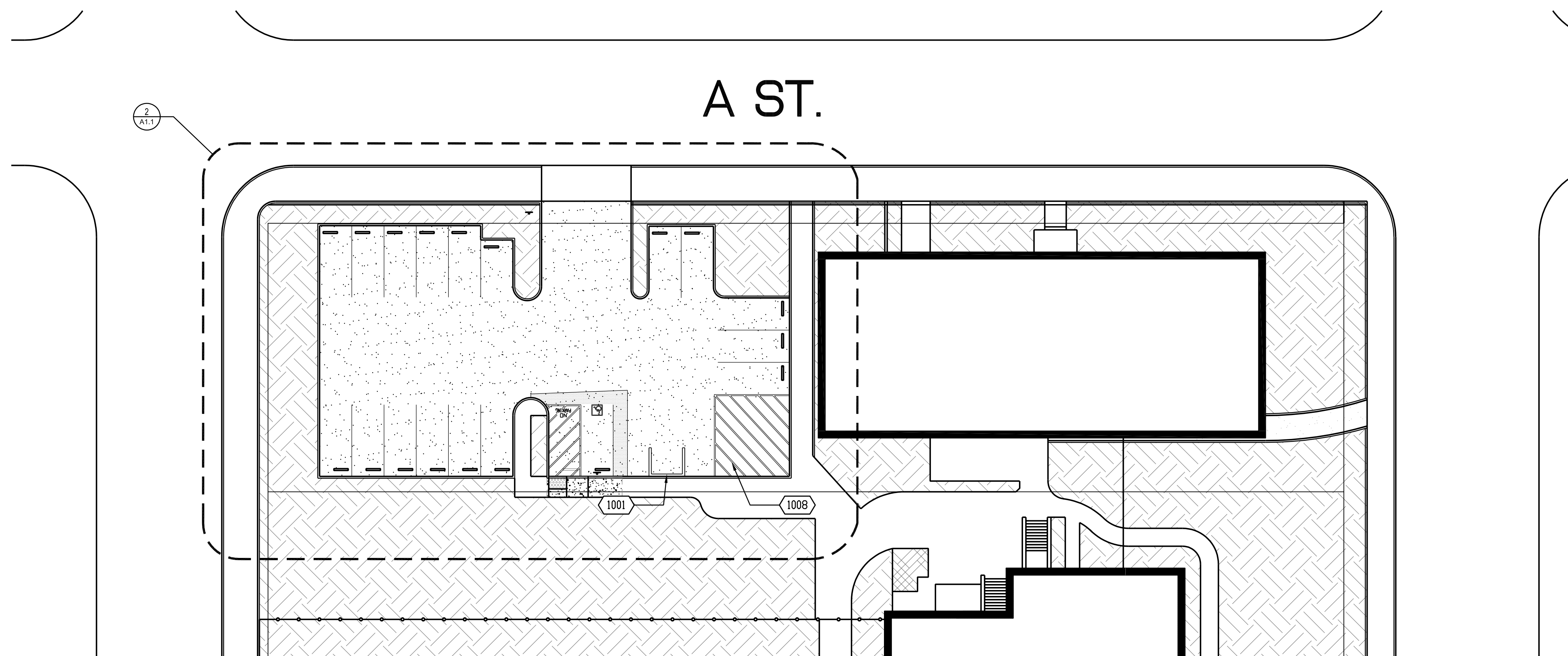
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SITE LEGEND

-  (E) EXISTING TRASH ENCLOSURE.
-  4" WIDE WHITE PAVEMENT STRIPING.
-  TOW-AWAY SIGN, REF DETAIL 12/A1.2.
-  PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
-  12" H PAINTED WHITE TEXT.
-  VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
-  (E) WHEEL STOP, RELOCATE AS REQUIRED.
-  4" WIDE WHITE DIAGONAL PAVEMENT STRIPING.
-  TRUNCATED DOMES, REF DETAIL 7/A1.2.
-  VAN ACCESSIBLE PARKING, REFER TO DETAIL 15/A1.2.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS, 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
-  FLUSH TRANSITION, REF DETAIL 4/A1.2.
-  CONC CURB RAMP, REF DETAIL 6/A1.2.

REFERENCE NOTES

- REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
- DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.

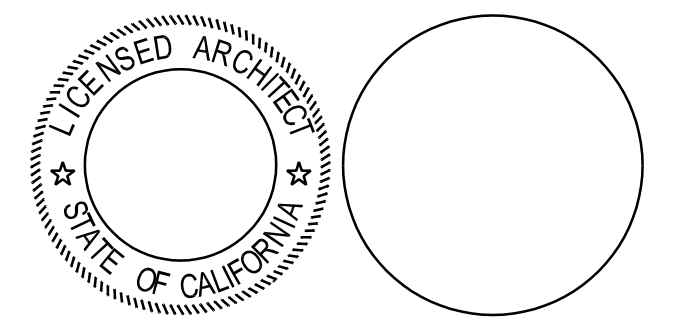


ENLARGED SITE PLAN - PARKING LOT

1" = 20'-0"

1

GENERAL NOTES



CONSULTANT

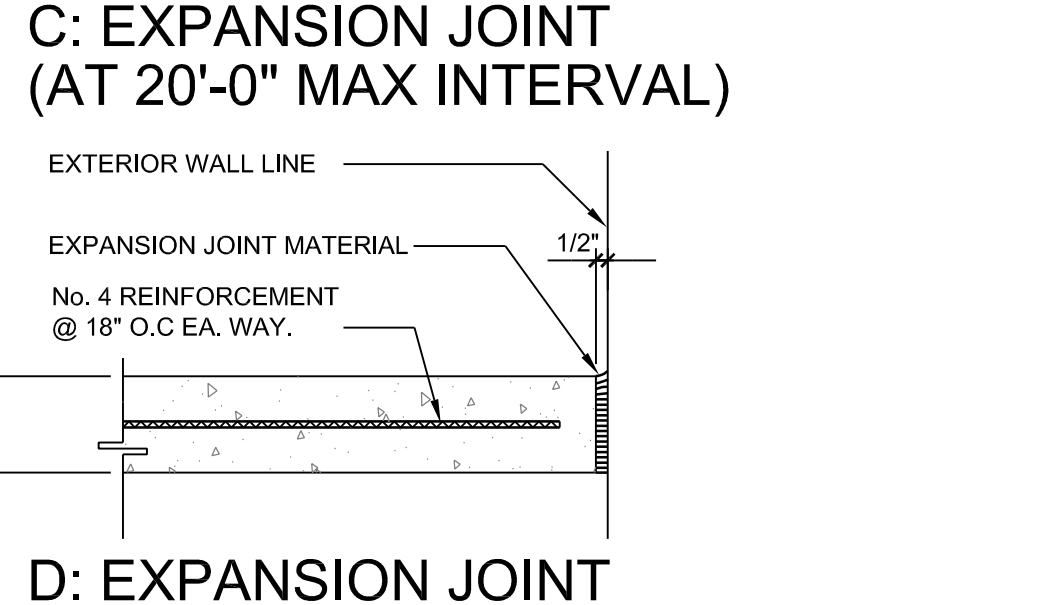
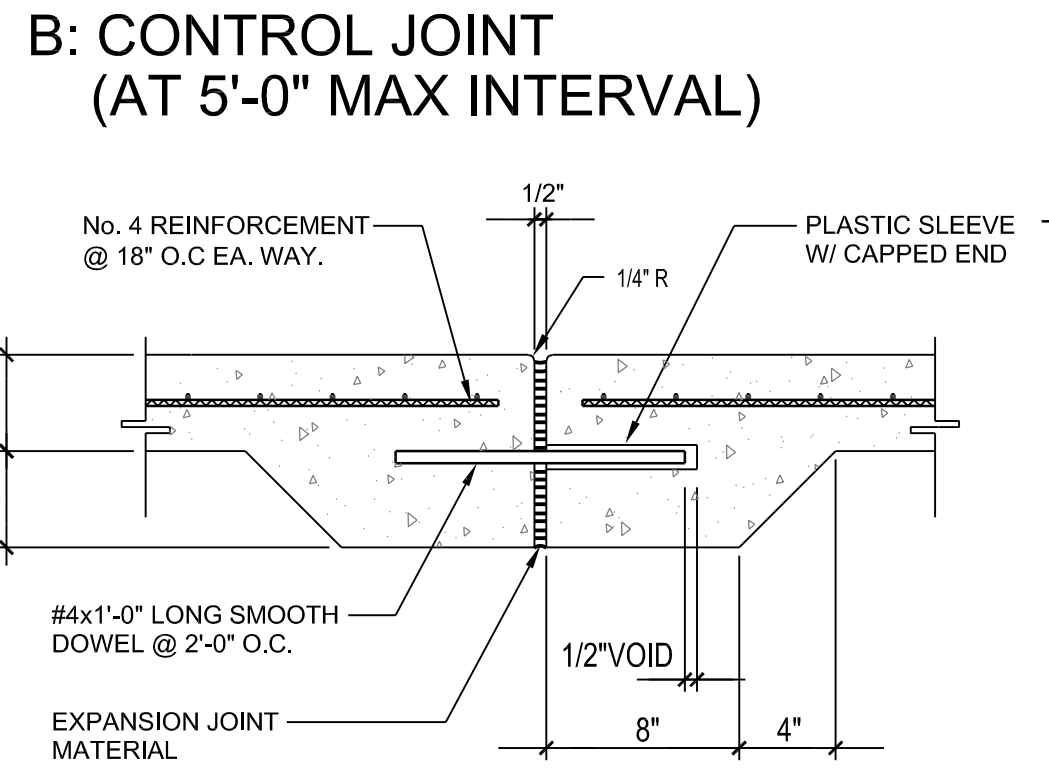
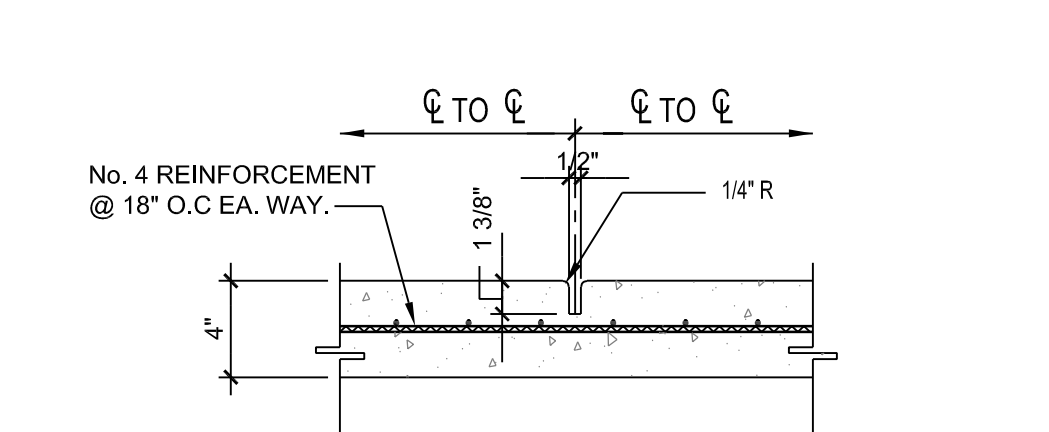
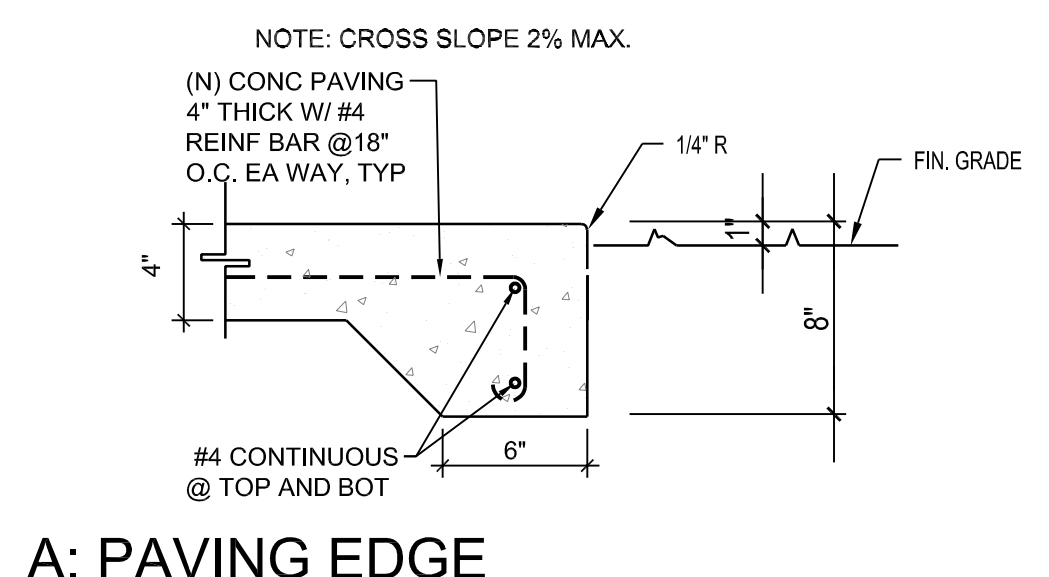
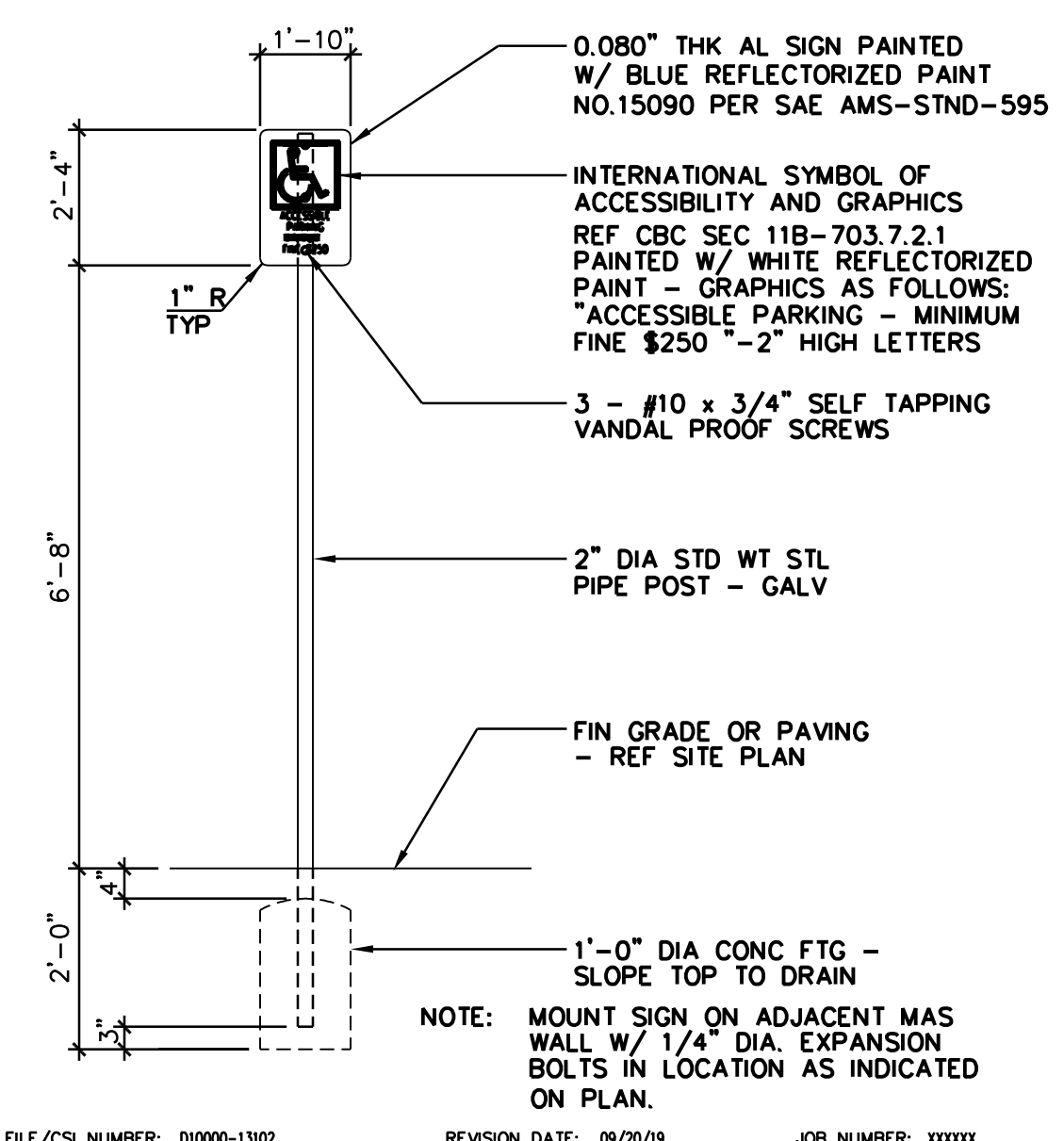
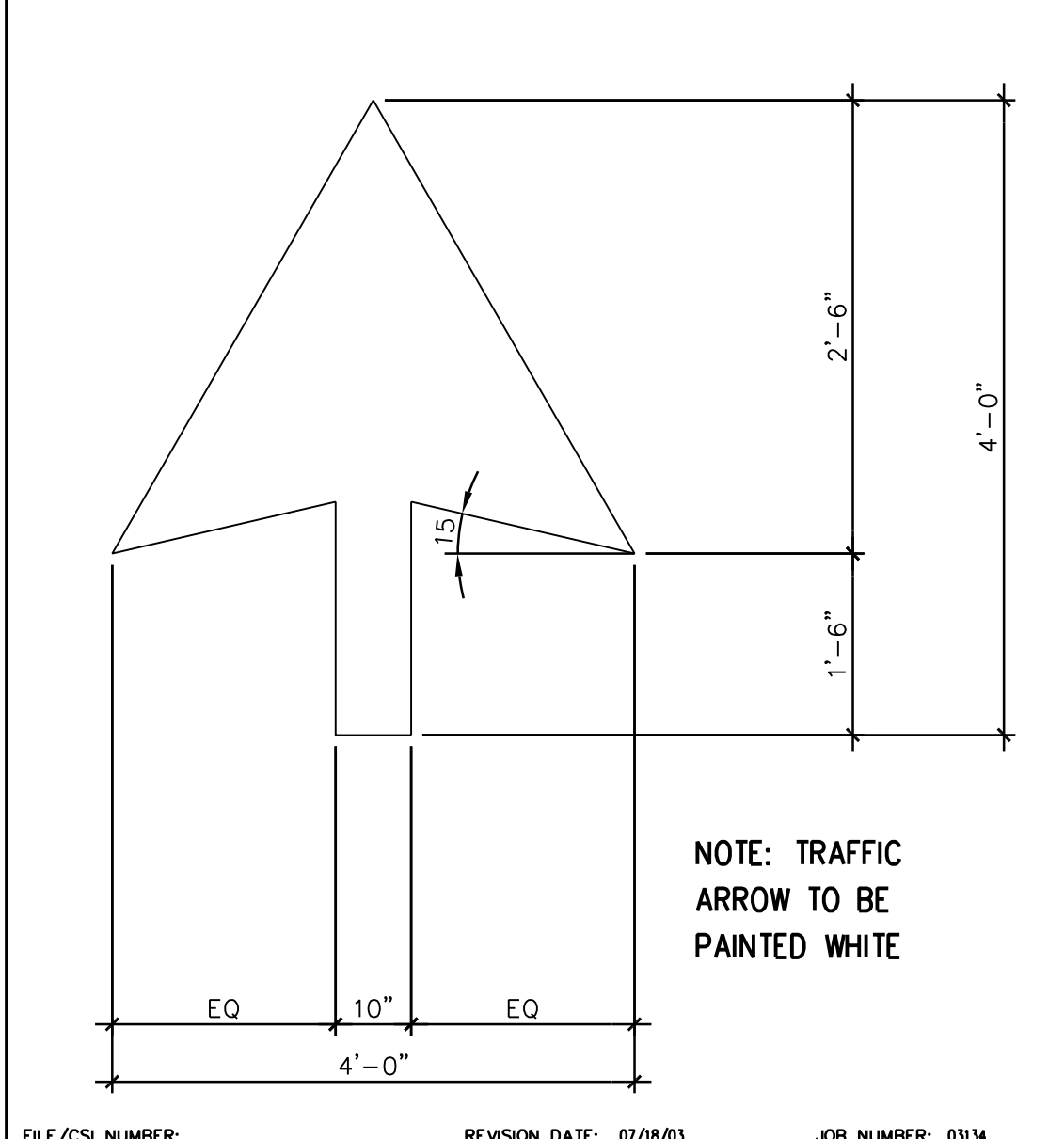
1	5/1/2023	PBK	ADDENDUM 01
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NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
 DATE: 02/24/2023 SCALE: _____
 PROJECT NUMBER: 000000

**ENLARGED
 SITE PLAN**

DRAWING NUMBER: **A1.1**

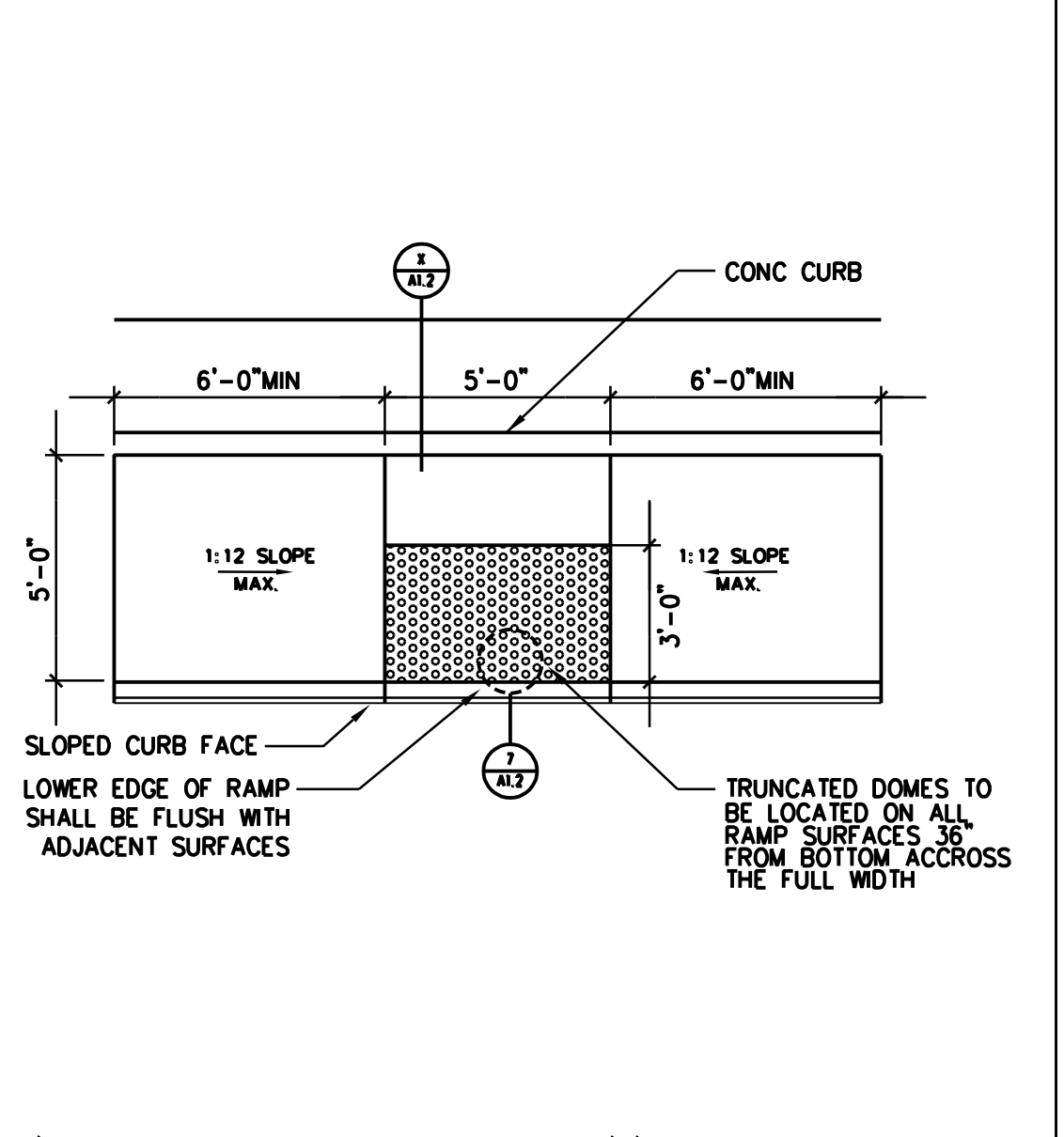
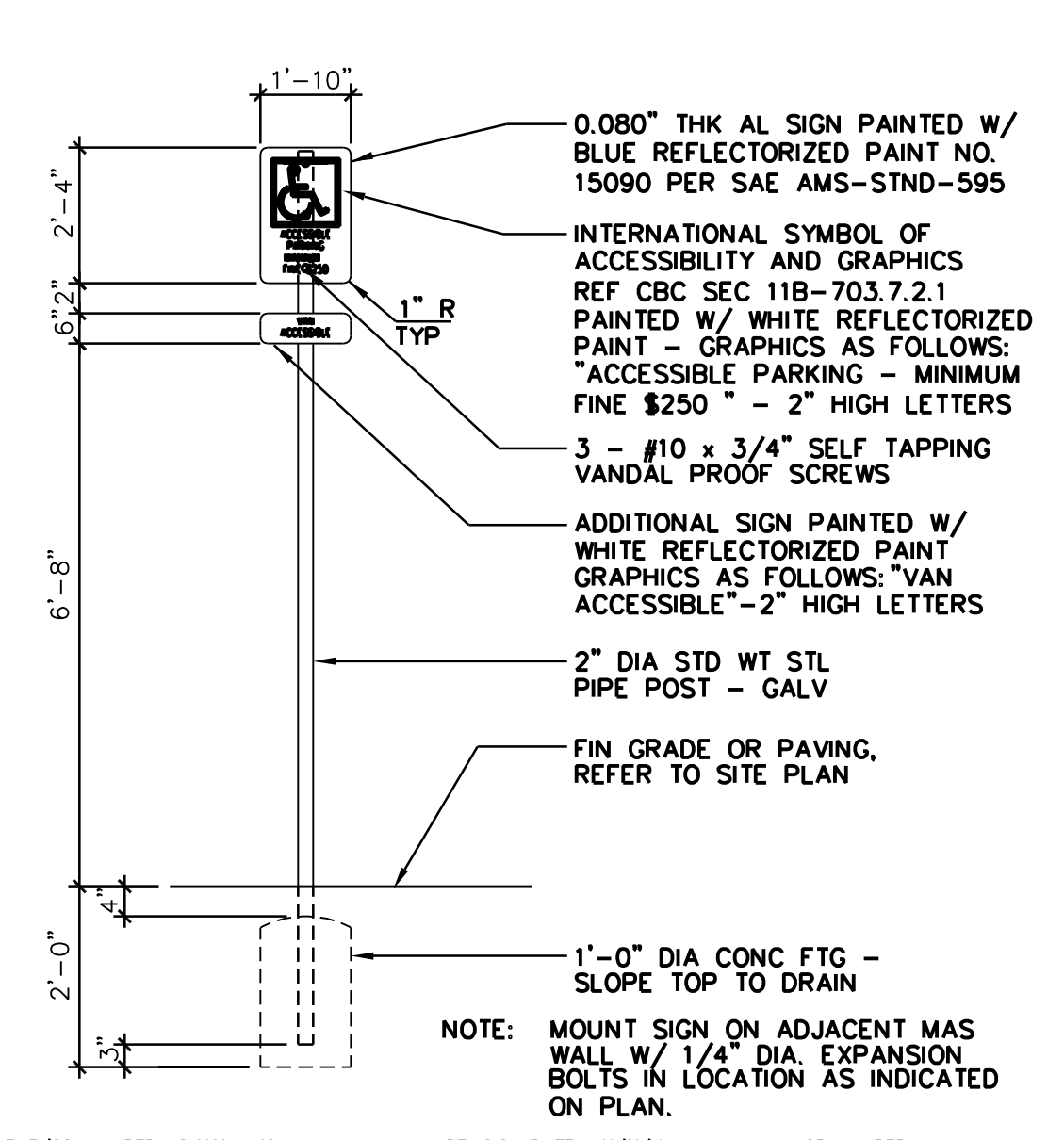
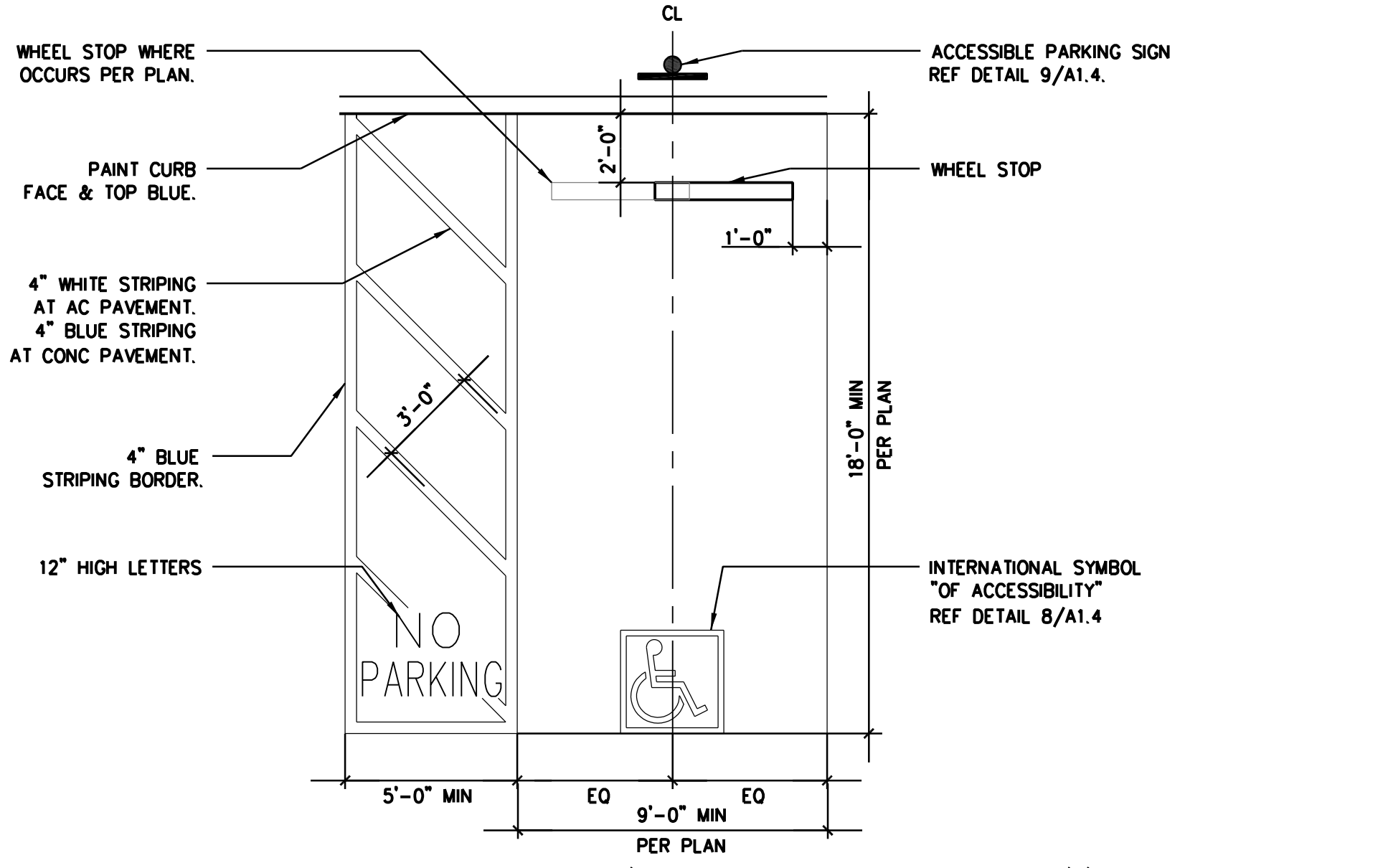


21

17 TRAFFIC ARROW 1/2"=1'-0"

13 PARKING SIGN 1/2"=1'-0"

5



TYP CONCRETE PAVING 1 1/2"=1'-0"

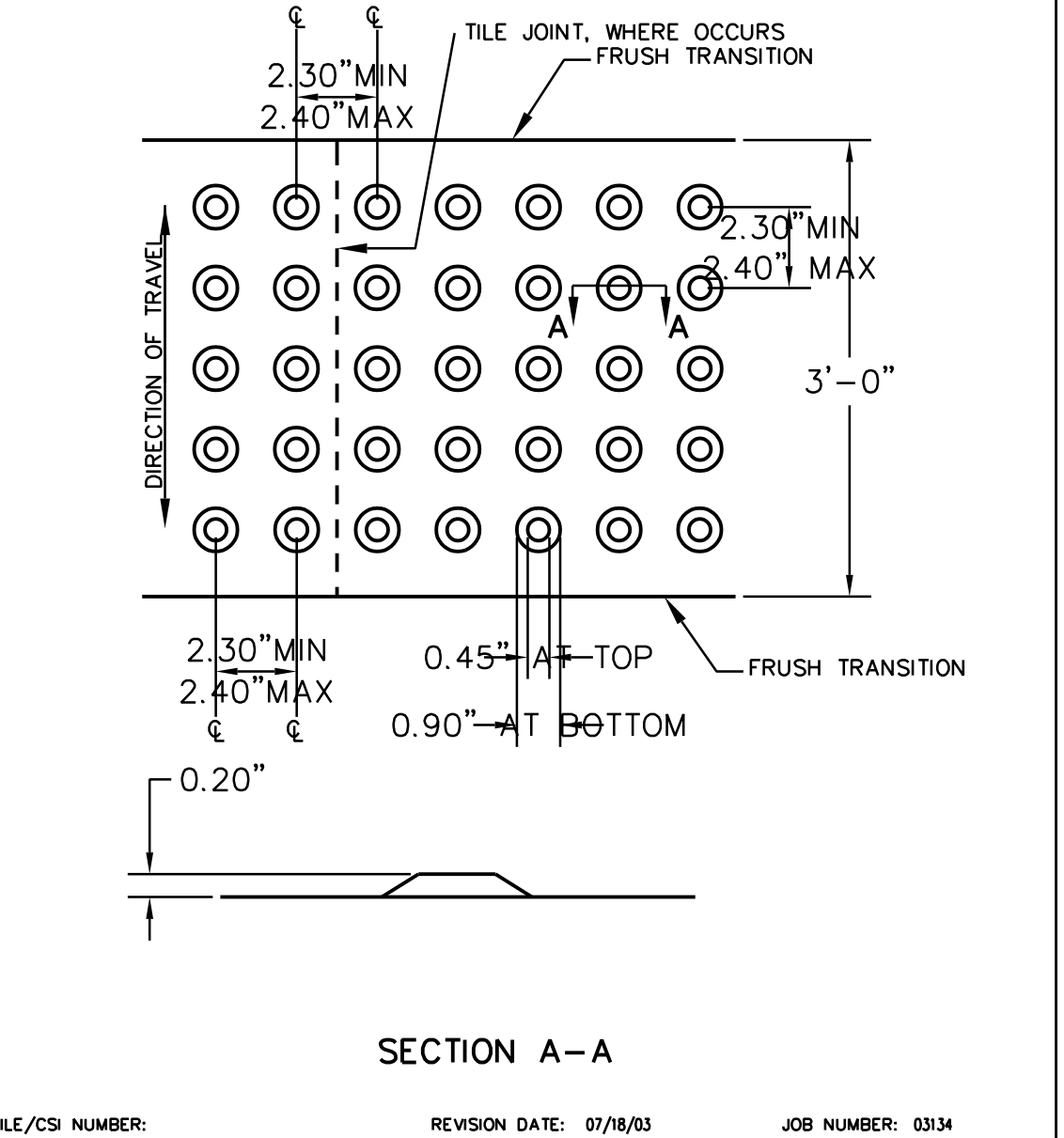
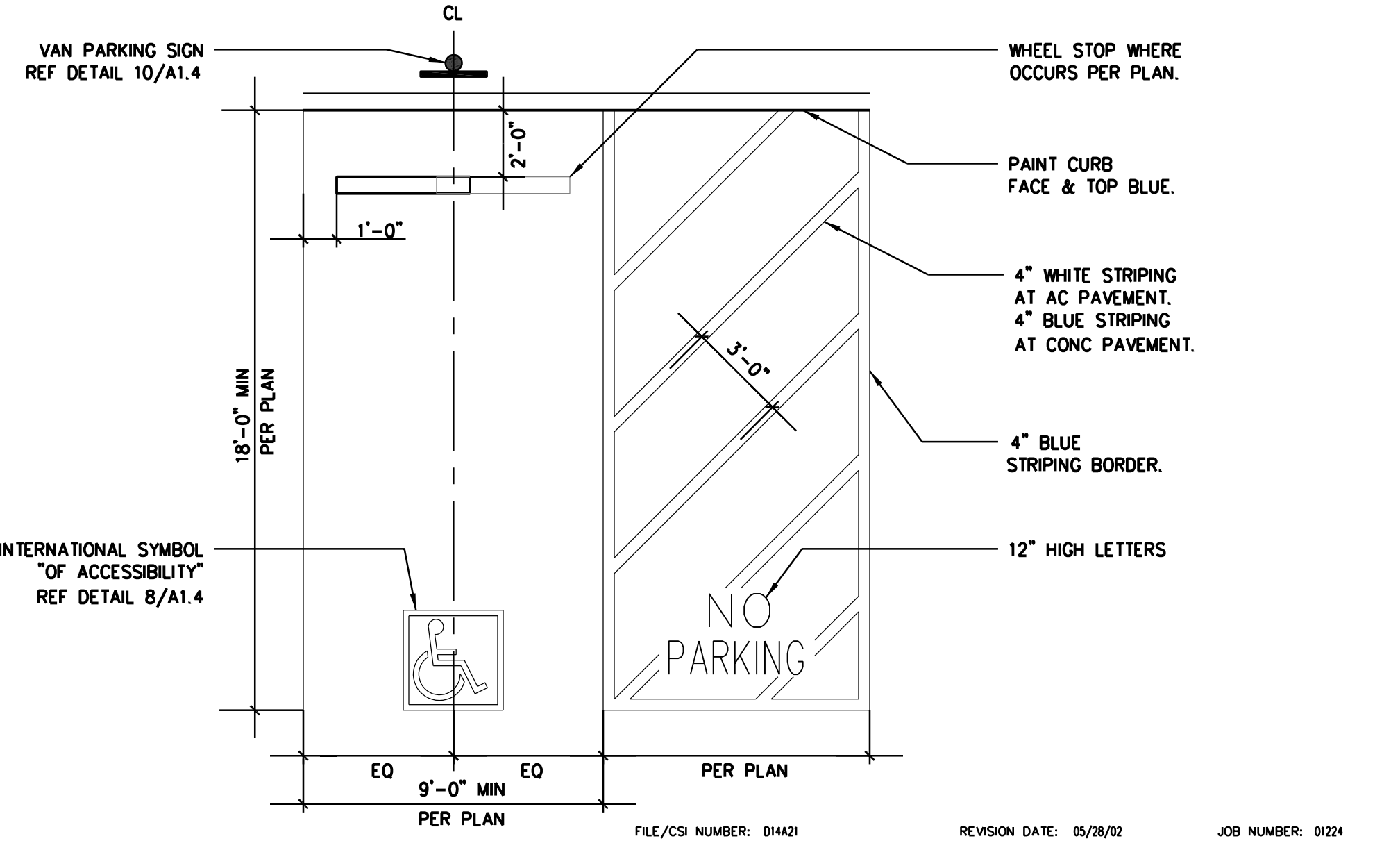
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14 ACCESSIBLE PARKNG 1/4"=1'-0"

10 PARKING SIGN 1/2"=1'-0"

6 CURB RAMP 1/4"=1'-0"

2



1 1/2"=1'-0"

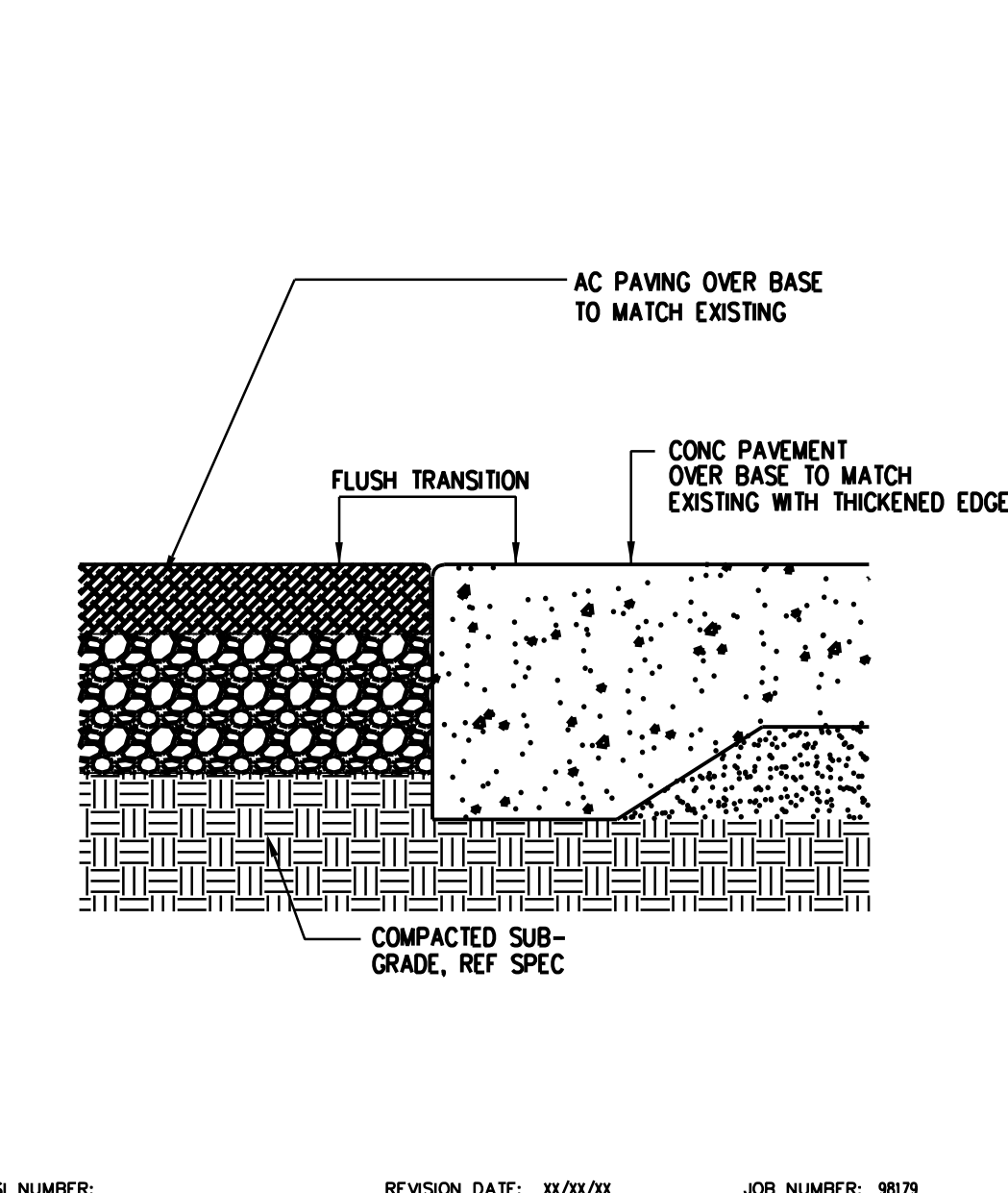
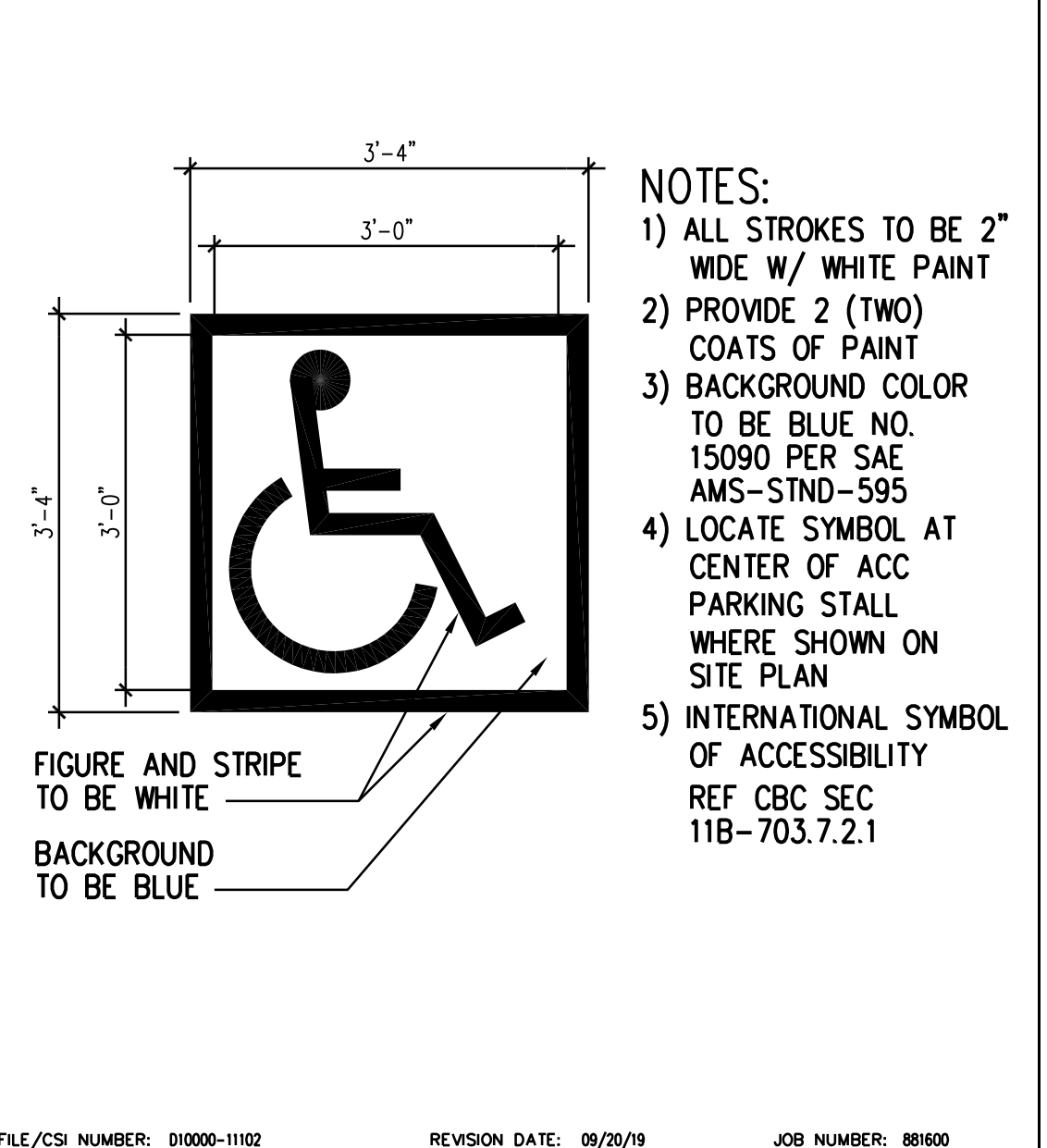
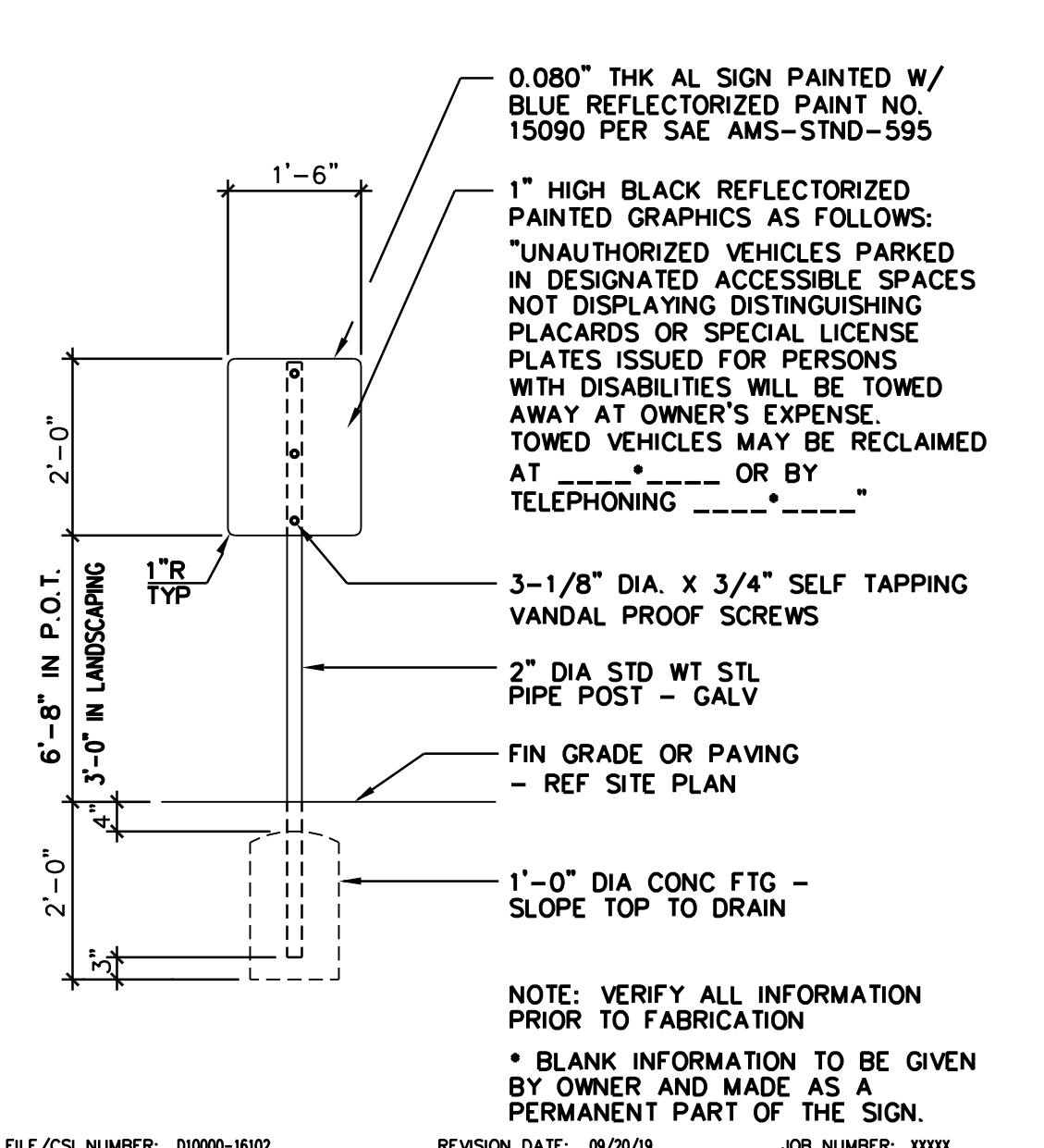
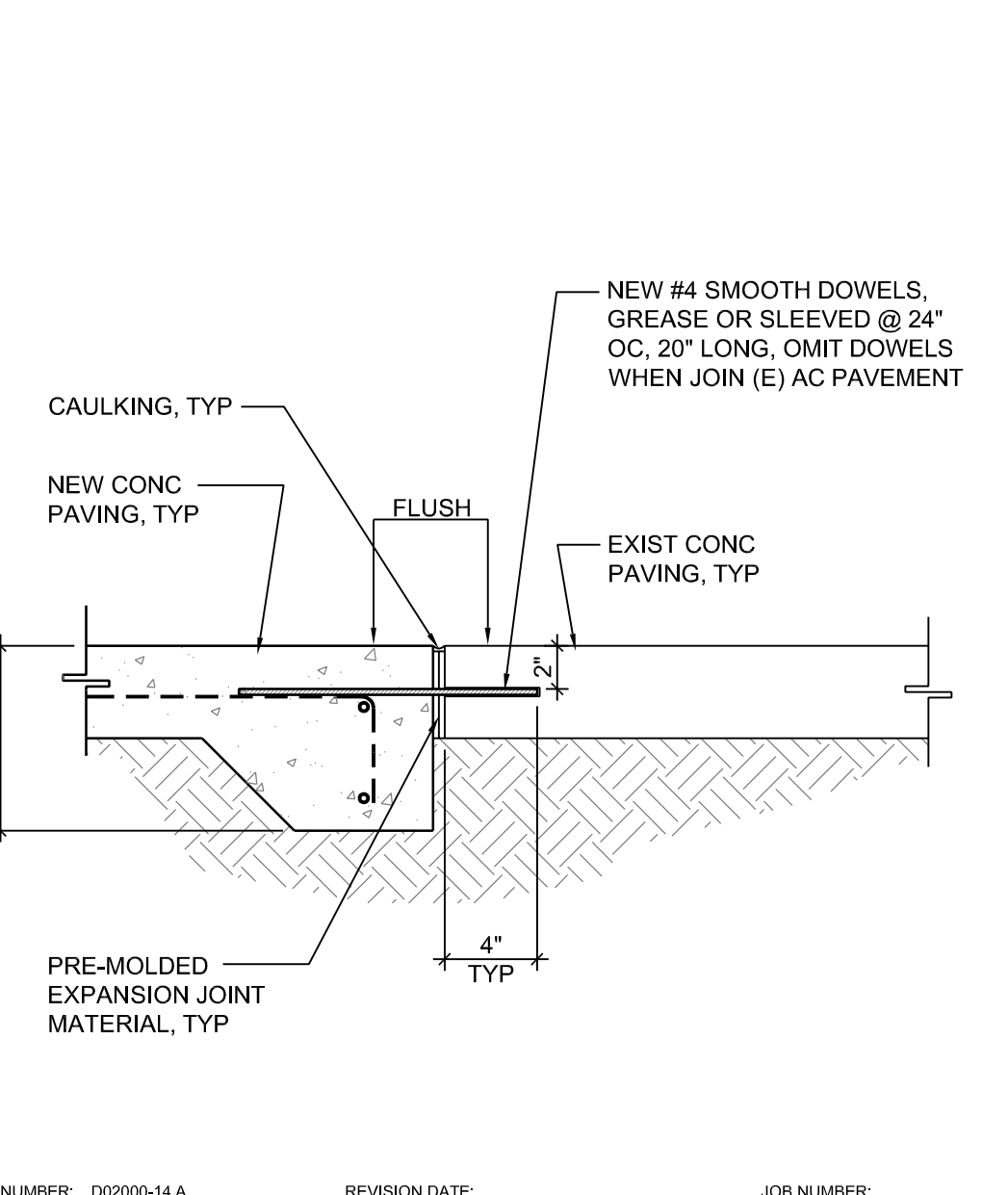
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15 VAN ACCESSIBLE PARKING 1/4"=1'-0"

11 PARKING SIGN 1/2"=1'-0"

7 TRUNCATED DOME DETAIL NTS

3



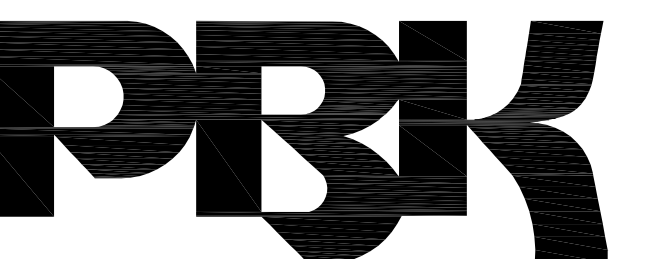
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20 CONC PAVING JT W/ EXG CONC 1 1/2"=1'-0"

12 PARKING SIGN 1/2"=1'-0"

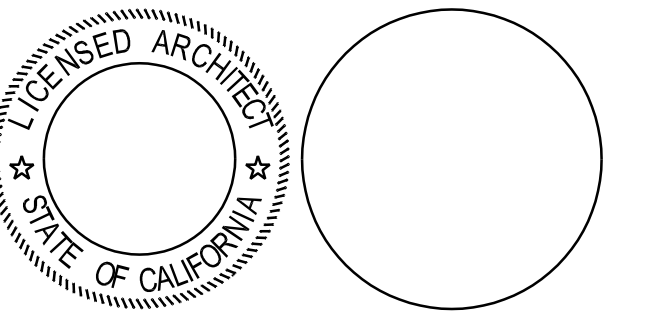
8 ACCESS SIGN 3/4"=1'-0"

4 PAVEMENT TRANSITION 1 1/2"=1'-0"



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

SIXTH STREET PREP STREAM
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
15476 6TH ST.
VICTORVILLE, CA 92395



NO	DATE	BY	DESCRIPTION
1	5/1/2023	PBK	ADDENDUM 01

NO	DATE	BY	DESCRIPTION

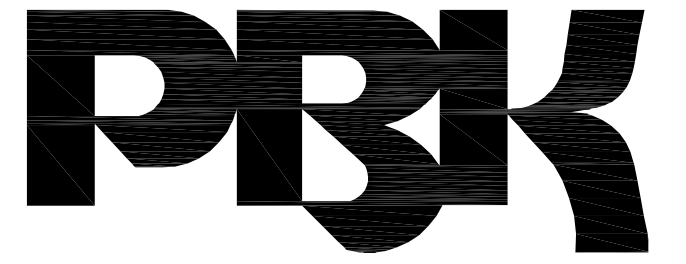
DRAWN: WLC CHECKED: .
DATE: 02/24/2023 SCALE: AS NOTED
PROJECT NUMBER: 000000

DRAWING NUMBER: A1.2

TRANSPORTATION FACILITY PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

12393 LOCUST AVE.
VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

- THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
- THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
- THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
- FIRE SAFETY DURING CONSTRUCTION
 - GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.

- INSPECTOR OF RECORD REQUIREMENTS:
 - DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
- ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
- SOIL BEARING PRESSURE ASSUMED AT: 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
- GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
- GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
- ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
- ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
- FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CCD MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. THE CCD SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGE ORDER.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GOVERNING CODES

- 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1
- 2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2
- 2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3
- 2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4
- 2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5
- 2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6
- 2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8
- 2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9
- 2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11
- 2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12
- CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)
- 2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)
- APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.

- (2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)
- (2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)
- (2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)
- (2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)
- 1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
ARCHITECTURAL	
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.0	OVERALL SITE PLAN
A1.1	ENLARGED SITE PLAN
A1.2	ENLARGED SITE PLAN
A1.3	DETAILS
TOTAL NUMBER OF SHEETS: 5	

PROJECT TEAM

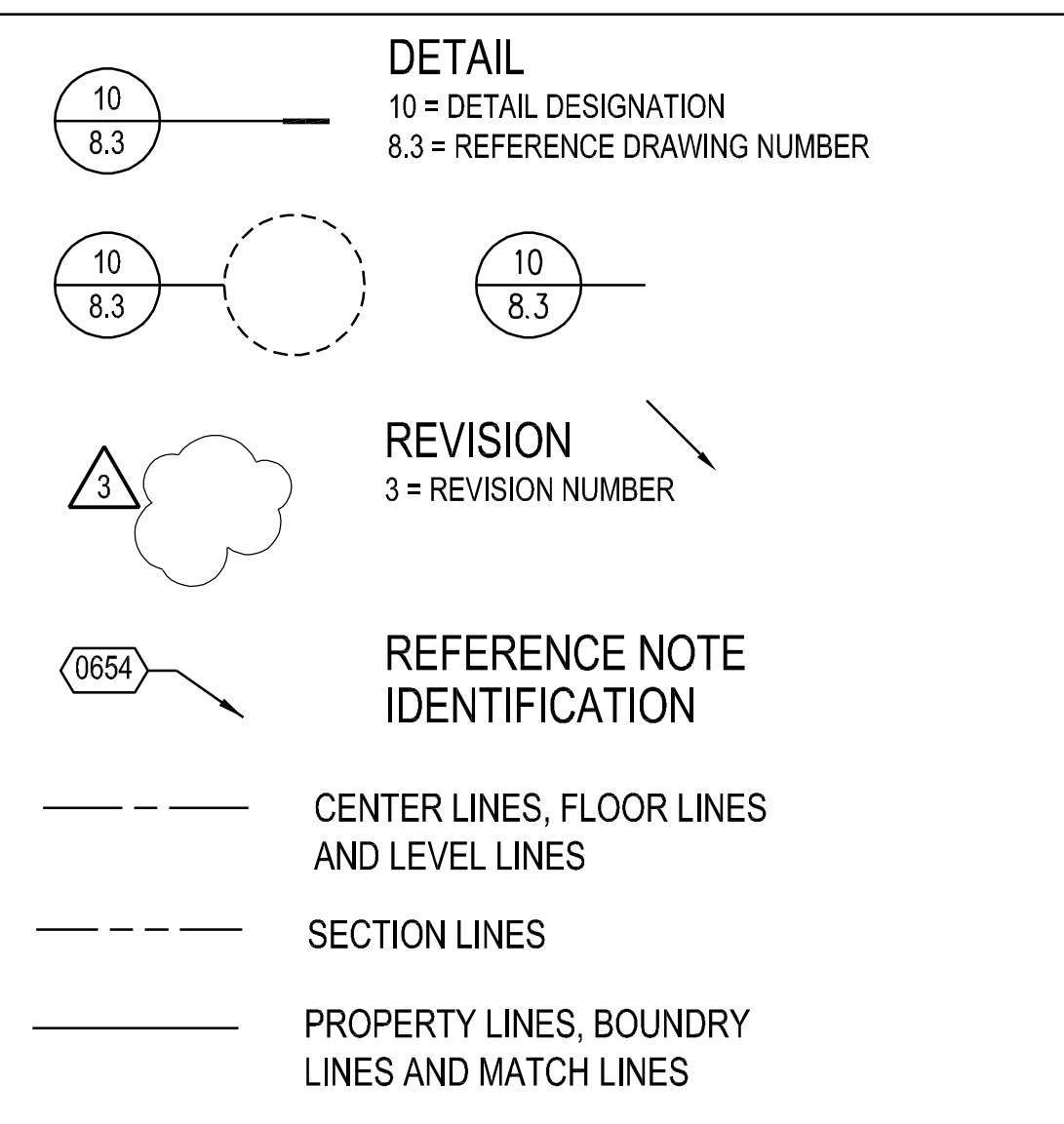
PROJECT ADDRESS
TRANSPORTATION FACILITY
12393 LOCUST AVE.,
VICTORVILLE, CA 92395
PHONE: 760-XXX-XXXX

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-0909 FAX: 909-980-9980

TRANSPORTATION FACILITY
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
12393 LOCUST AVE.
VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS



ABBREVIATIONS			
&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	O	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

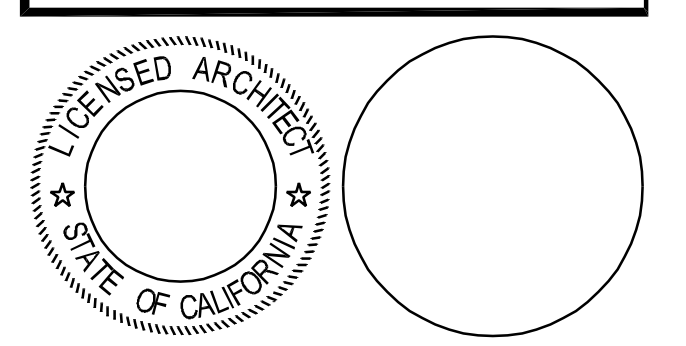
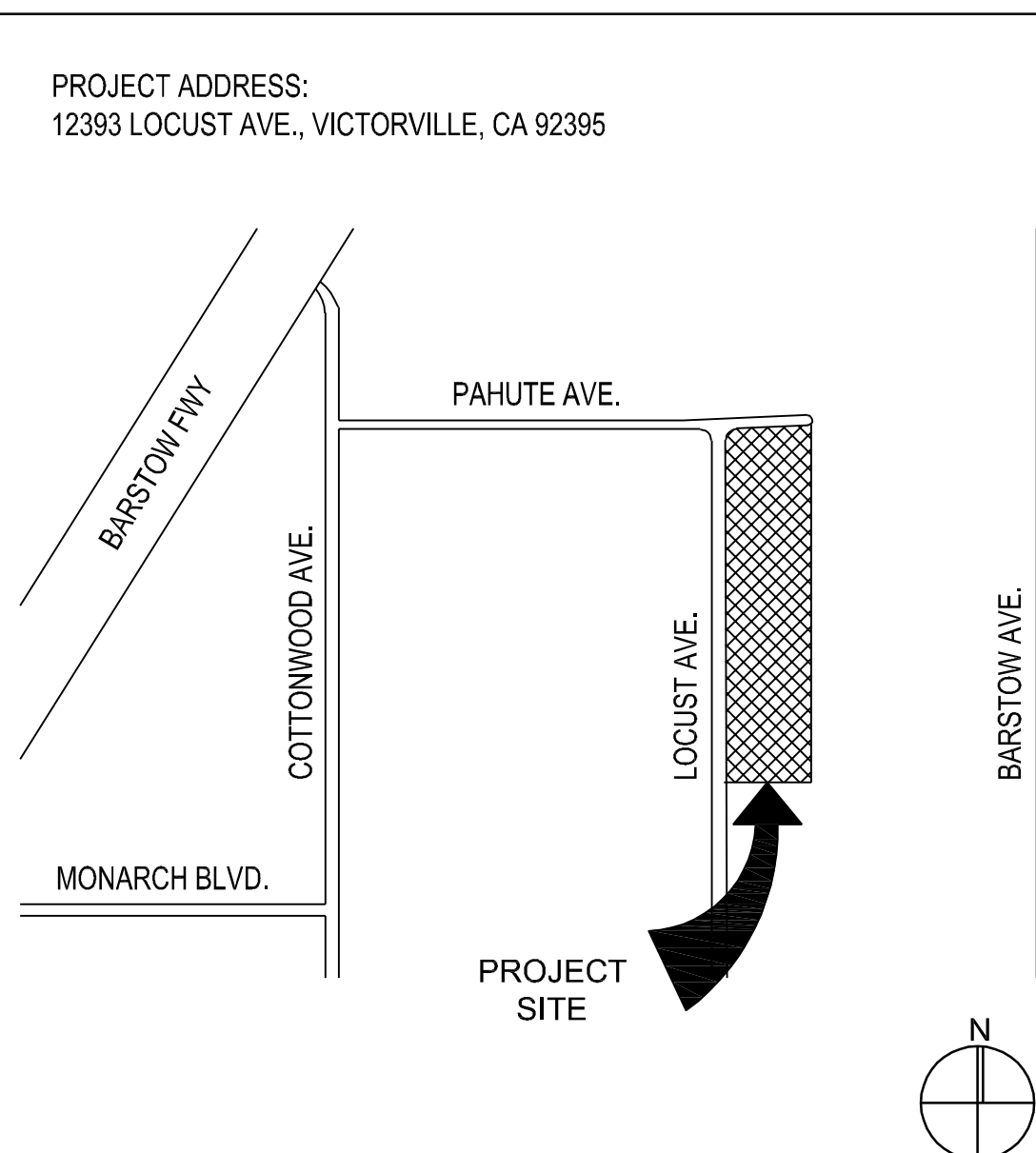
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



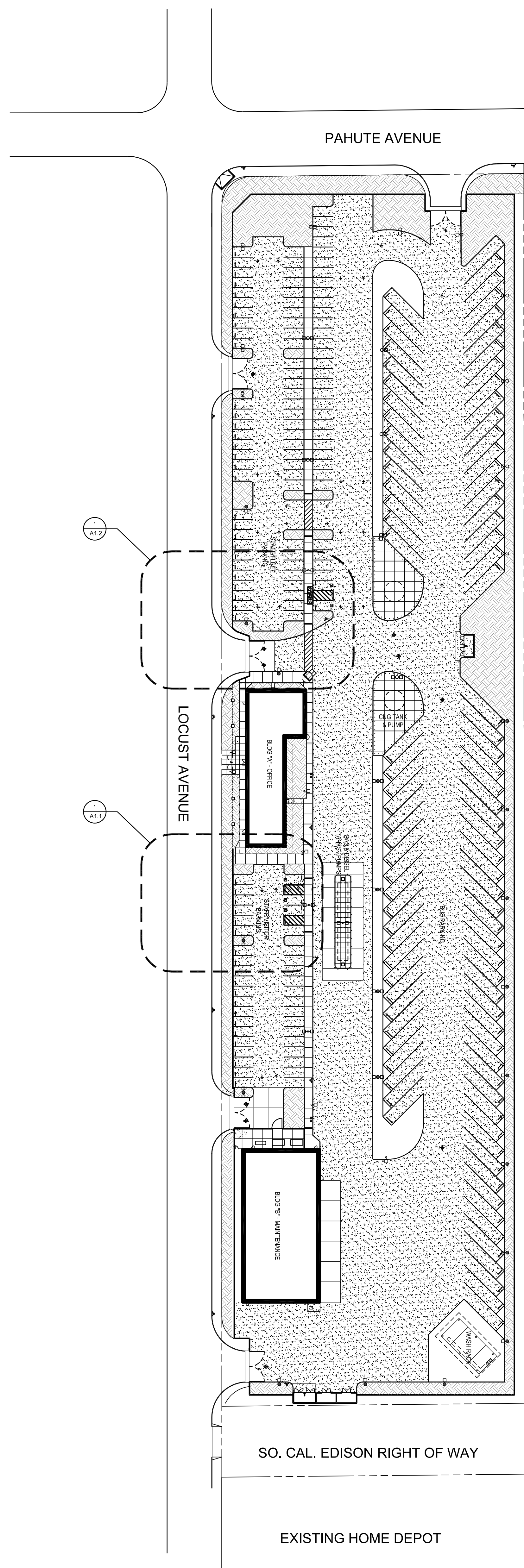
CONSULTANT

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

DRAWN: _____ **CHECKED:** _____
DATE: 02/24/2023 **SCALE:** _____
PROJECT NUMBER: 000000

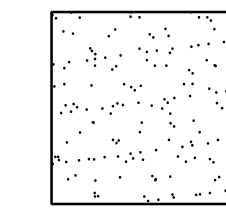
GENERAL NOTES & PROJECT DIRECTORY

DRAWING NUMBER: A0.1

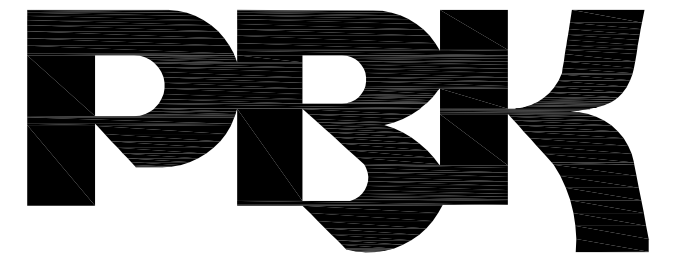


TOTAL PARKING SPACES = 129	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 5	STANDARD	ACCESSIBLE		129
	124	STANDARD	VAN	
		3	2	

AREA 2 - PARK CALCULATION

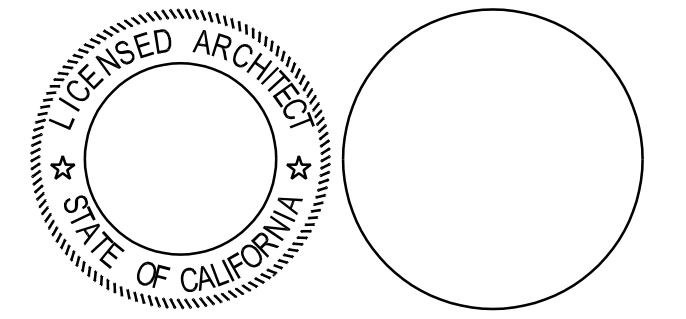


AREA OF SLURRY COAT, STRIPING, & PAVEMENT



RANCHO CUCAMONGA
 8163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-987-0909 P

**TRANSPORTATION FACILITY
 PARKING LOT SLURRY SEAL**
 VICTOR ELEMENTARY SCHOOL DISTRICT
 12393 LOCUST AVE.
 VICTORVILLE, CA 92395



CONSULTANT

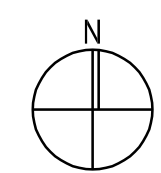
1	5/1/23	PBK	ADDENDUM 01

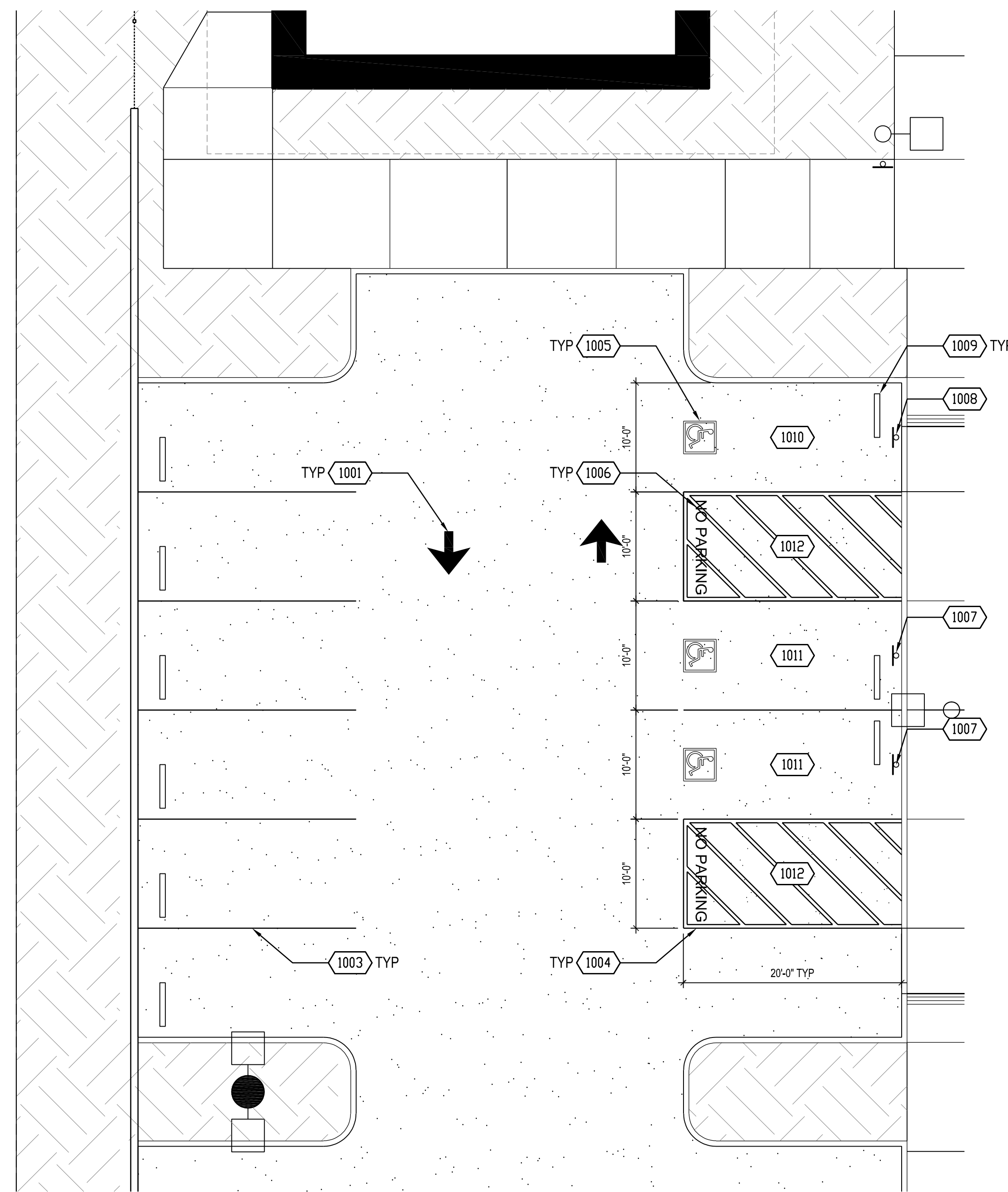
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
 DATE: 02/24/2023 SCALE: _____
 PROJECT NUMBER: 000000

**OVERALL
 SITE PLAN**

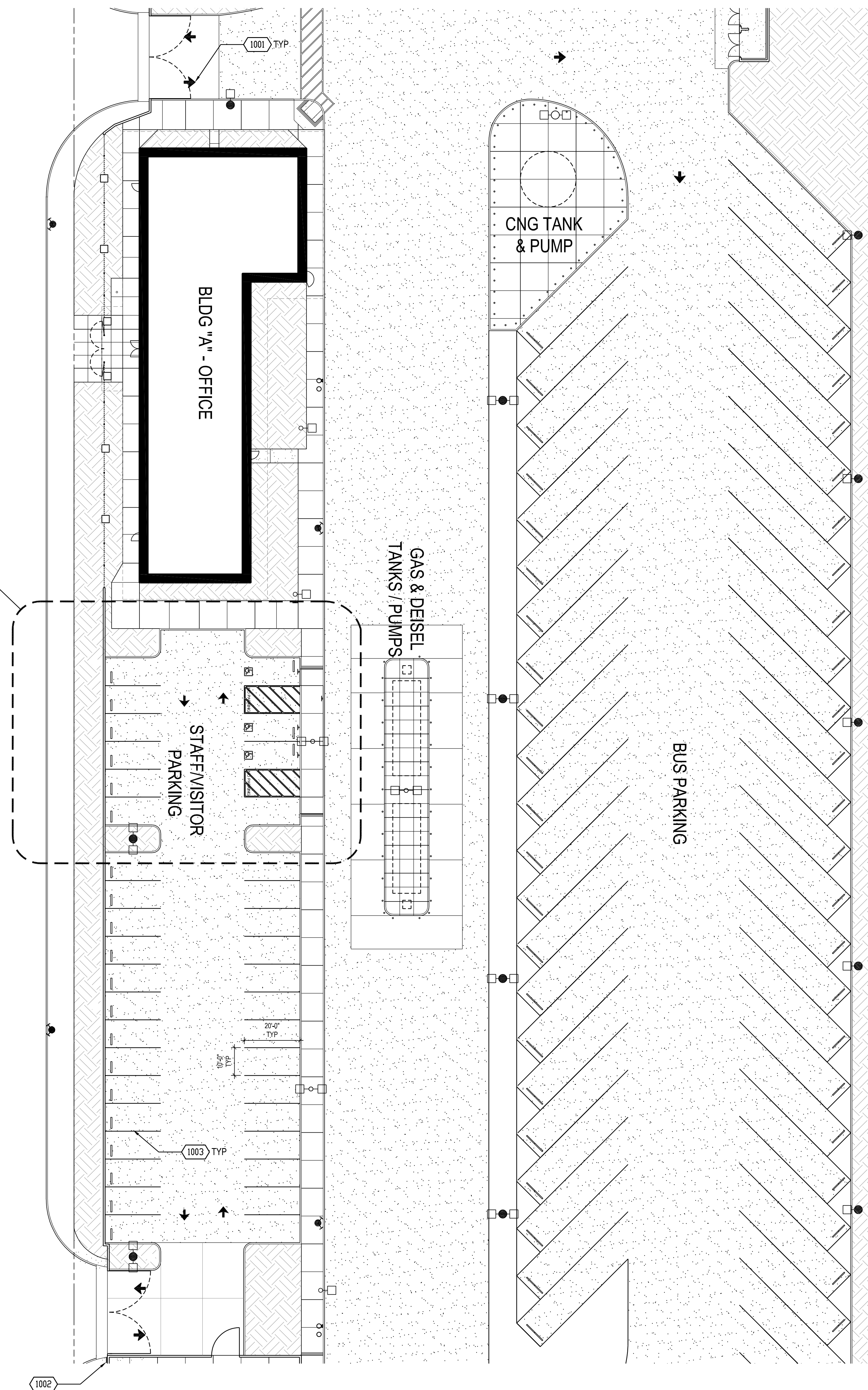
DRAWING NUMBER: **A1.0**





ENLARGED ACCESSIBLE PARKING 1/8" = 1'-0" 2

LOCUST AVENUE



ENLARGED SITE PLAN 1" = 20'-0" 1

TOTAL PARKING SPACES = 129	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 5	STANDARD	ACCESSIBLE		129
		STANDARD	VAN	
	124	3	2	

AREA 2 - PARK CALCULATION



SITE LEGEND

- (1001) TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.3.
- (1002) (E) TOW-AWAY SIGN.
- (1003) 4" WIDE WHITE PAVEMENT STRIPING.
- (1004) 4" WIDE BLUE BORDER PAVEMENT STRIPING.
- (1005) PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.3.
- (1006) 12" H PAINTED WHITE TEXT.
- (1007) ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.3.
- (1008) VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.3.
- (1009) (E) WHEEL STOP, RELOCATE AS REQUIRED.
- (1010) VAN ACCESSIBLE PARKING STALL, REFER TO DETAIL 15/A1.3.
- (1011) ACCESSIBLE PARKING STALL, REFER TO DETAIL 14/A1.3.
- (1012) ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.

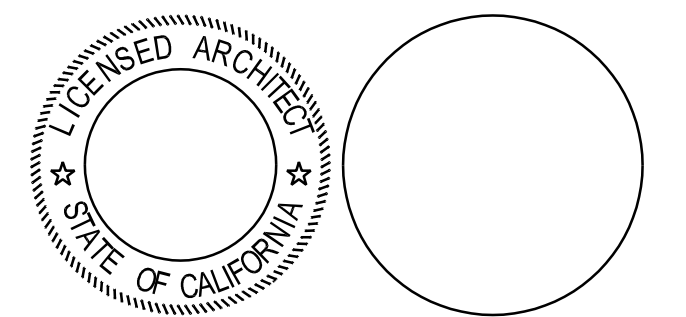
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.



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**TRANSPORTATION FACILITY
PARKING LOT SLURRY SEAL**
VICTOR ELEMENTARY SCHOOL DISTRICT
12393 LOCUST AVE.
VICTORVILLE, CA 92395



CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
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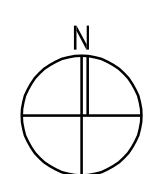
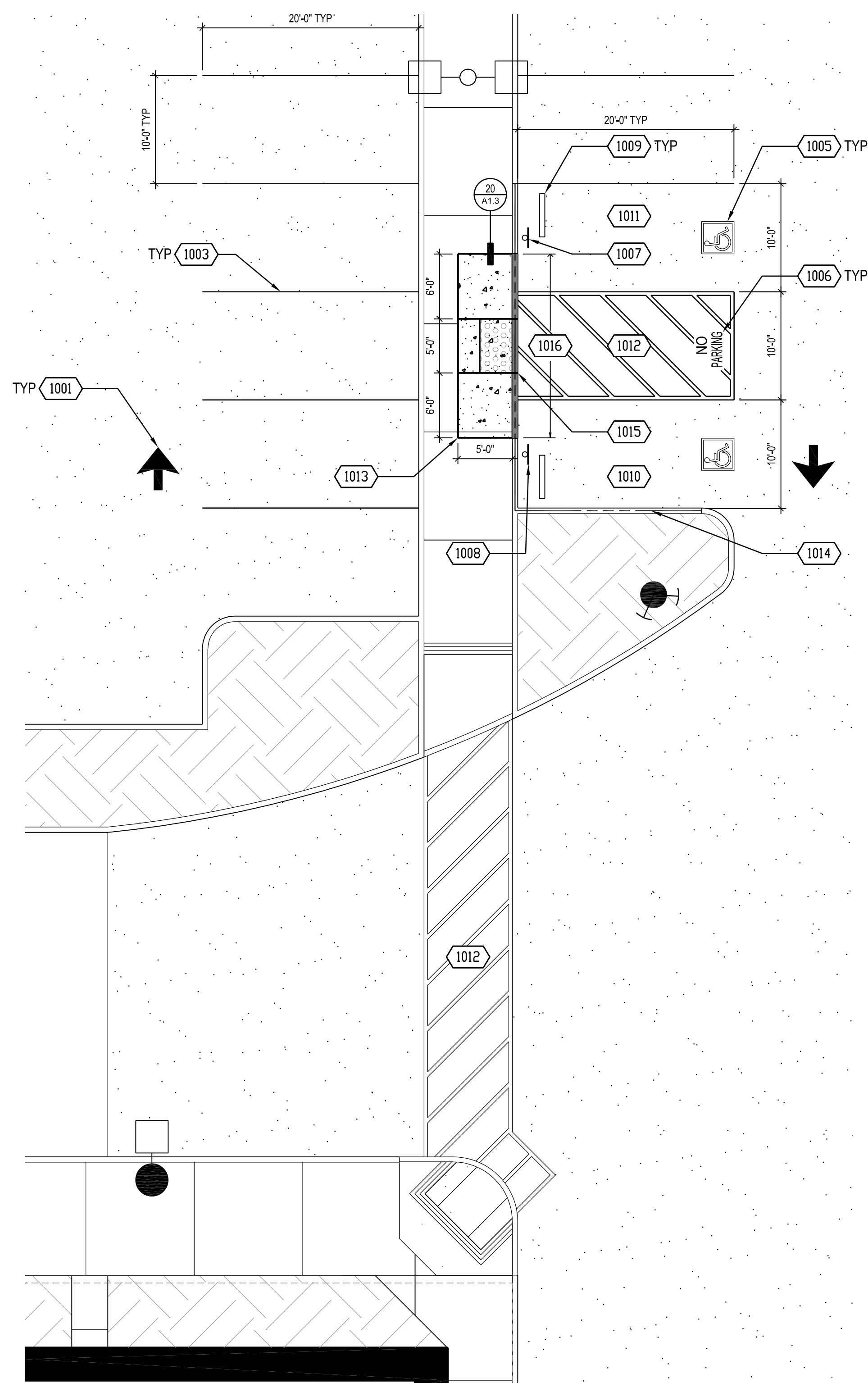
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN:	CHECKED:
DATE: 02/24/2023	SCALE:
PROJECT NUMBER: 000000	

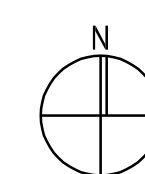
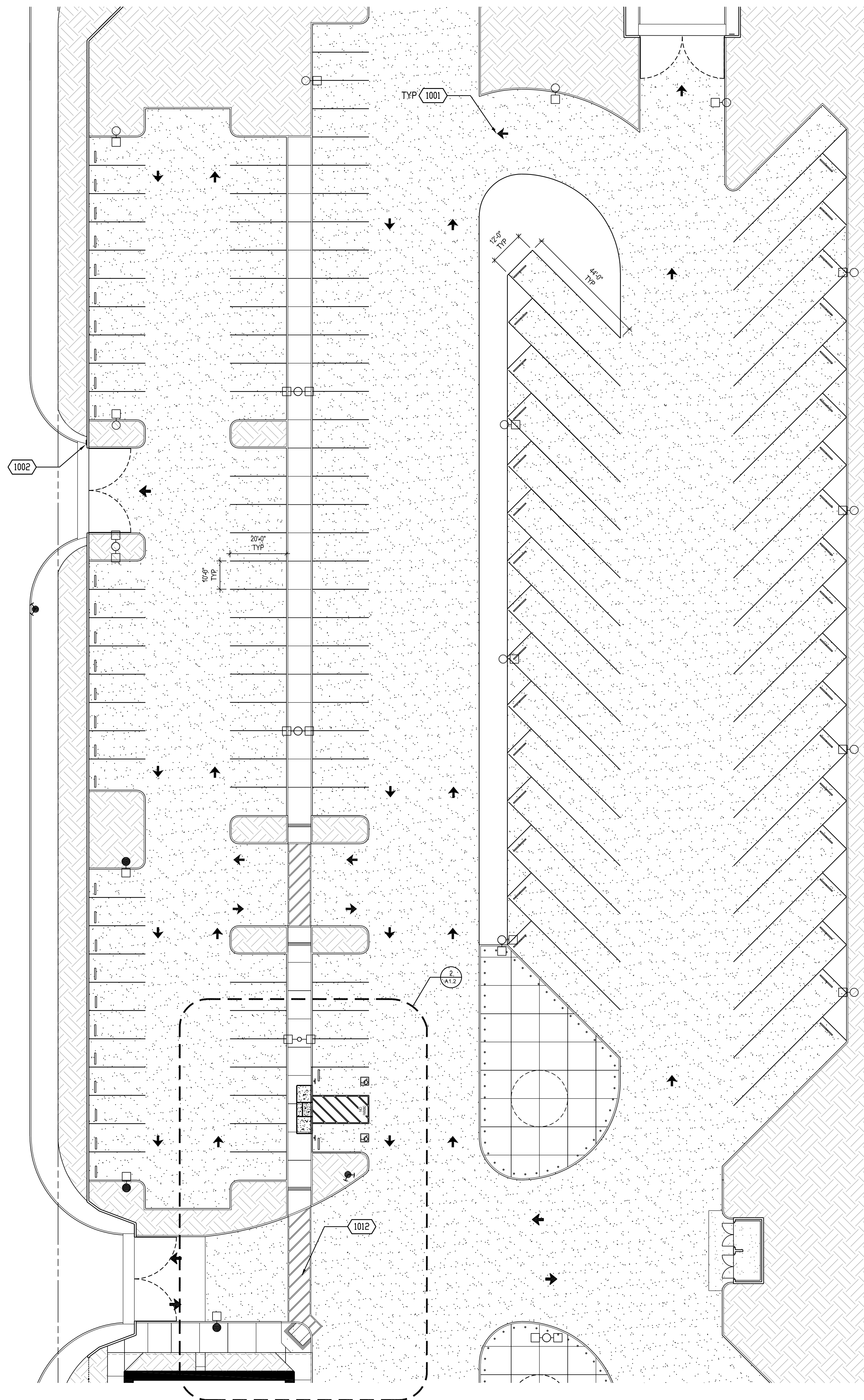
ENLARGED
SITE PLAN

DRAWING NUMBER: **A1.1**

GENERAL NOTES




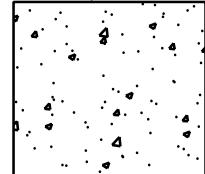
ENLARGED ACCESSIBLE PARKING 1/8" = 1'-0" 2



ENLARGED SITE PLAN 1" = 20'-0" 1

TOTAL PARKING SPACES = 129	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 5	STANDARD	ACCESSIBLE		
		STANDARD	VAN	
	124	3	2	129

AREA 2 - PARK CALCULATION

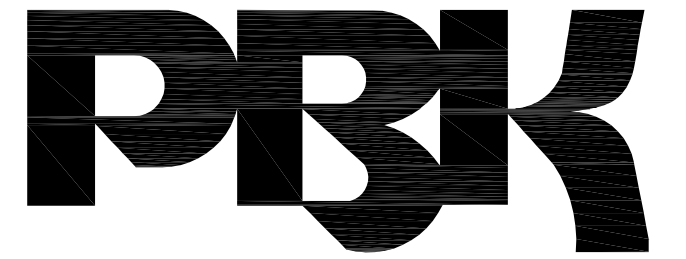
-  AREA OF SLURRY COAT, STRIPING, & PAVEMENT
-  CONC FLATWORK 4" THICK CONCRETE PAVEMENT WITH #4 BAR AT 18" O.C. EACH WAY. DEMO (E) AS REQUIRED DUE TO NEW WORK. PROVIDE EXPANSION JOINTS (EJ) AT 20'-0" MAX INTERVALS, AND CONTROL JOINTS AT 5'-0" MAX INTERVAL BETWEEN EJ.

SITE LEGEND

- 1001 TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.3.
- 1002 (E) TOW-AWAY SIGN.
- 1003 4" WIDE WHITE PAVEMENT STRIPING.
- 1004 4" WIDE BLUE BORDER PAVEMENT STRIPING.
- 1005 PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.3.
- 1006 12" H PAINTED WHITE TEXT.
- 1007 ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.3.
- 1008 VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.3.
- 1009 (E) WHEEL STOP, RELOCATE AS REQUIRED.
- 1010 VAN ACCESSIBLE PARKING STALL, REFER TO DETAIL 15/A1.3.
- 1011 ACCESSIBLE PARKING STALL, REFER TO DETAIL 14/A1.3.
- 1012 ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS. 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
- 1013 CURB RAMP, REF DETAIL 6/A1.3.
- 1014 PAINT TOP OF CURB AND CURB FACE BLUE.
- 1015 FLUSH TRANSITION, REF DETAIL 4/A1.3.
- 1016 6" CONCRETE CURB. REFER TO DETAIL 3/A1.3.

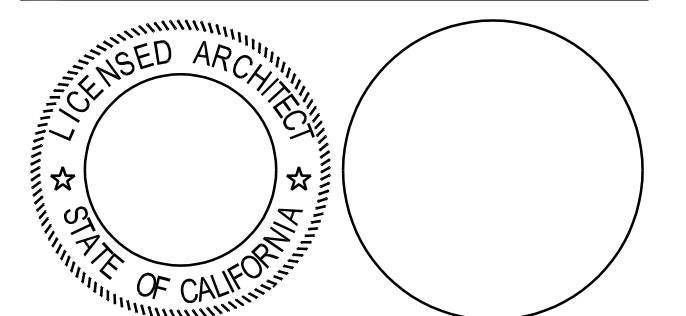
REFERENCE NOTES

1. REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.
2. DEMOLISH AND REPLACE CONCRETE FLATWORK TO NEAREST JOINT.



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VICTOR ELEMENTARY SCHOOL DISTRICT
12393 LOCUST AVE.
VICTORVILLE, CA 92395



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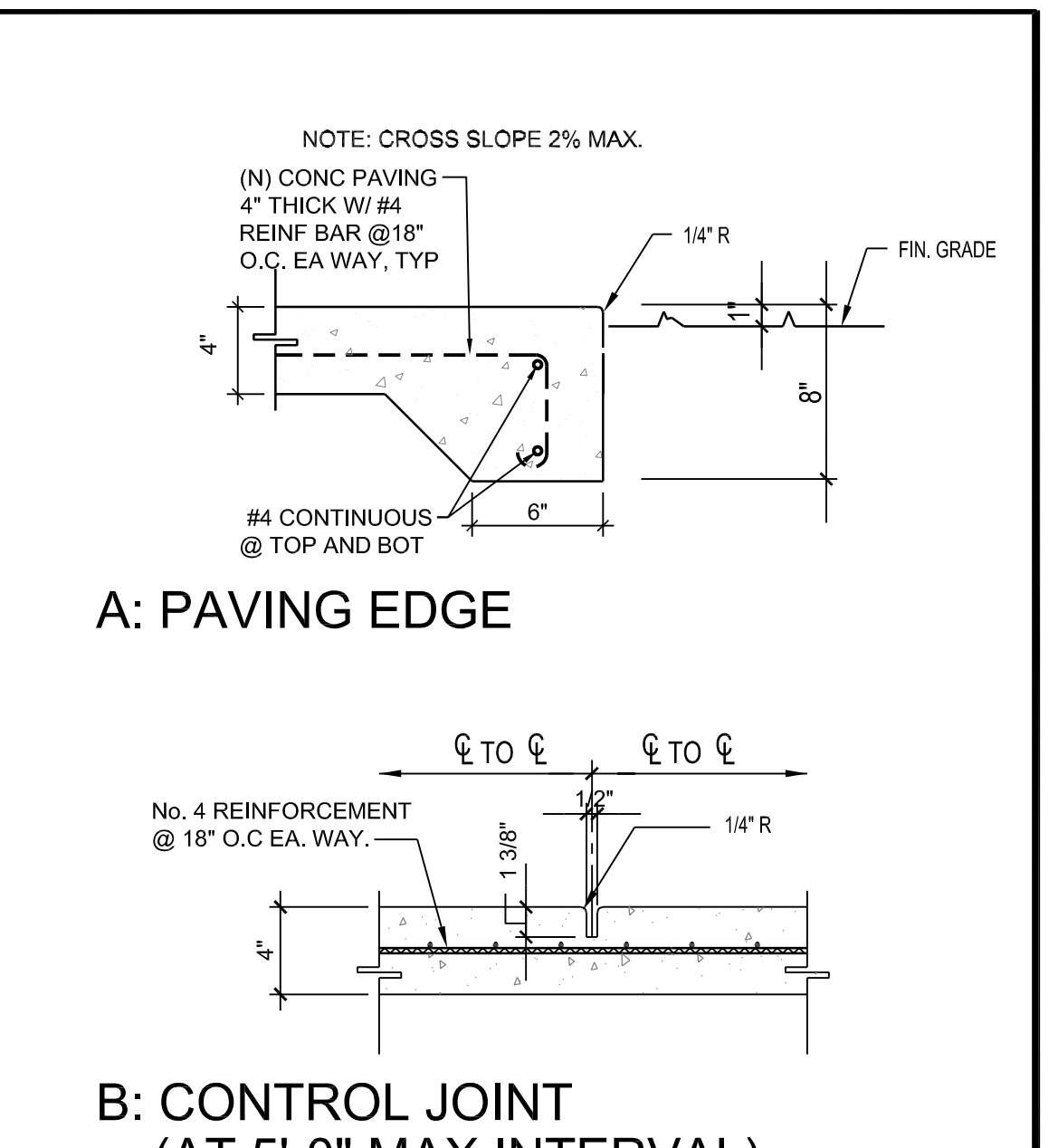
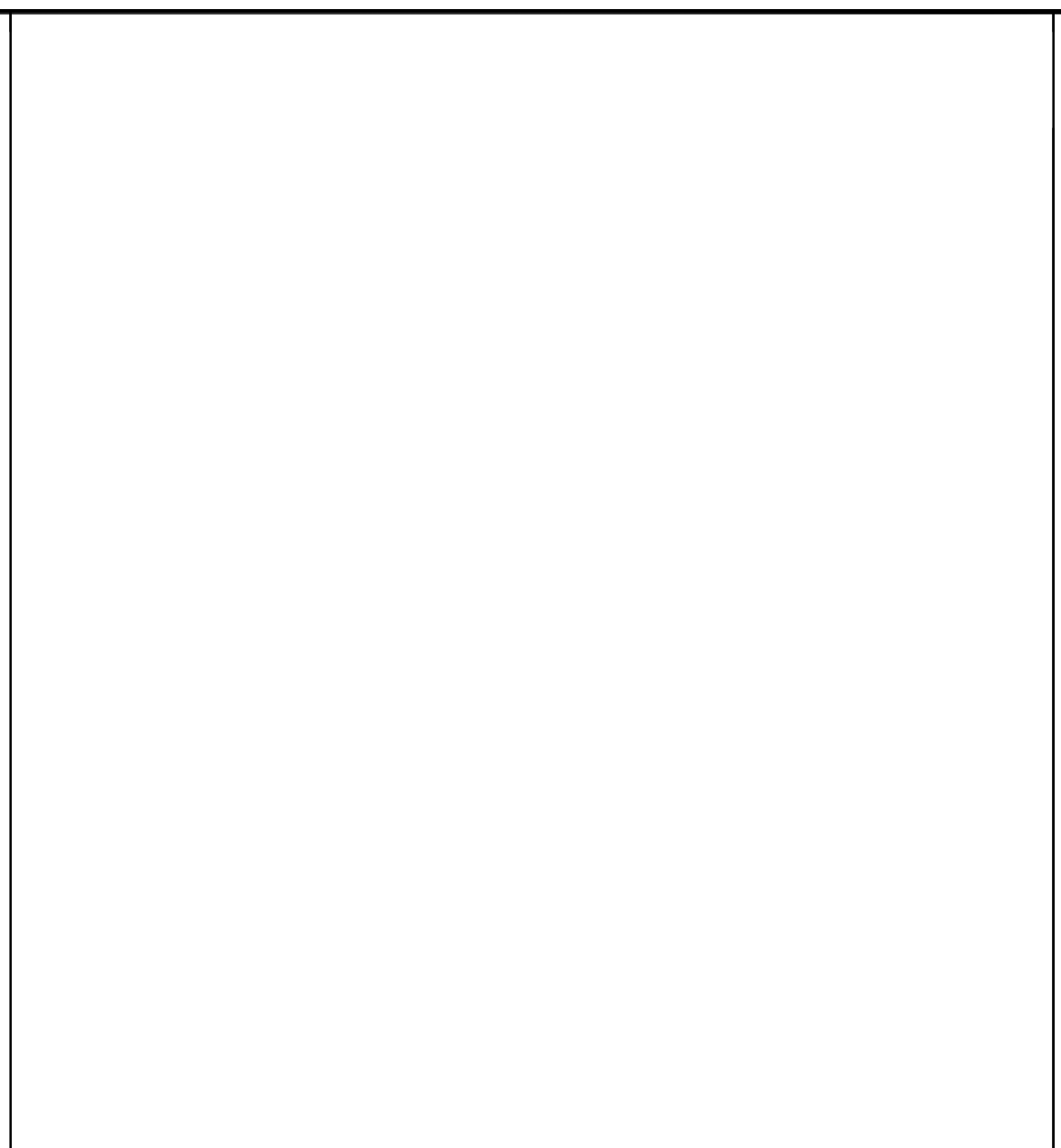
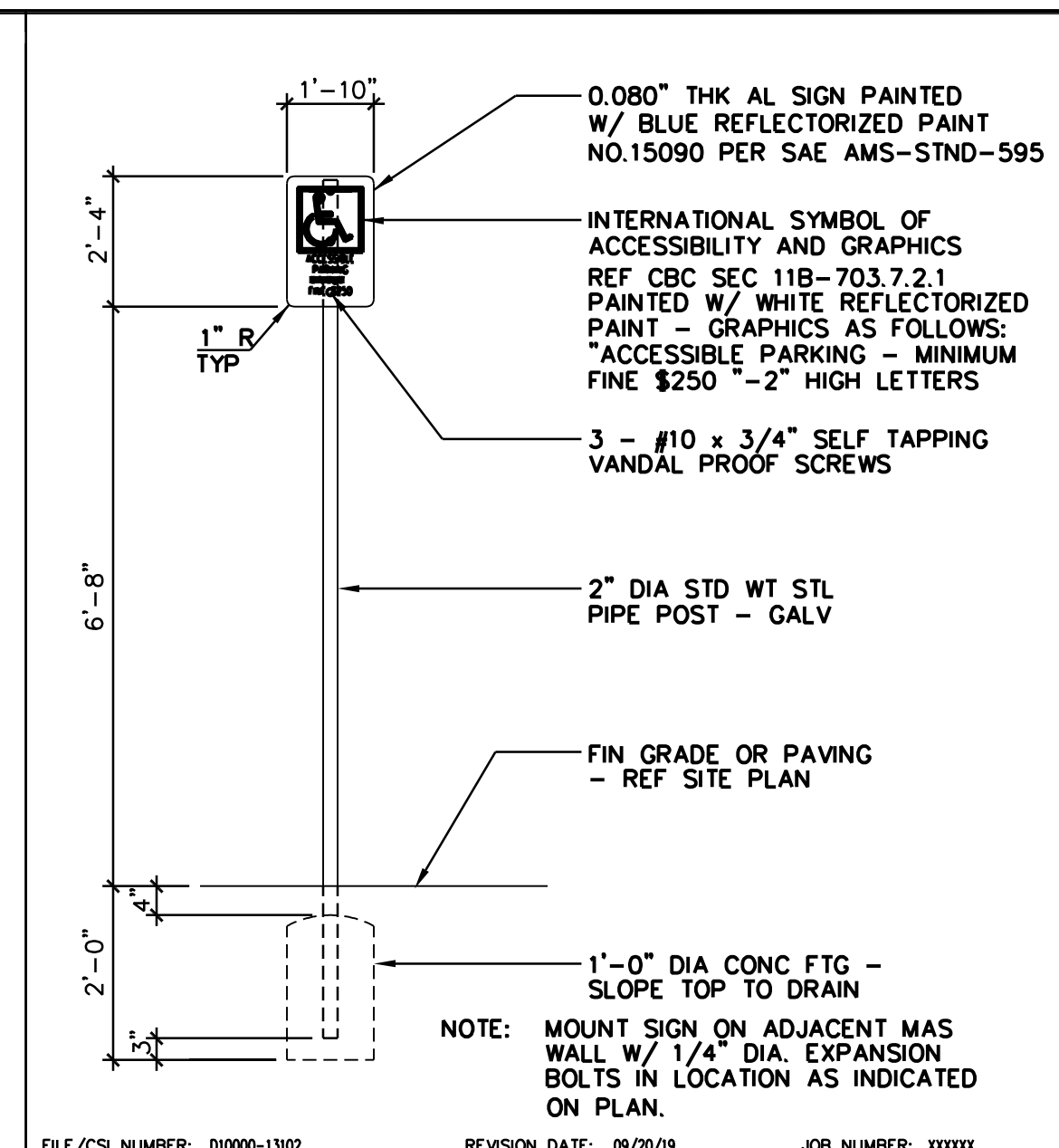
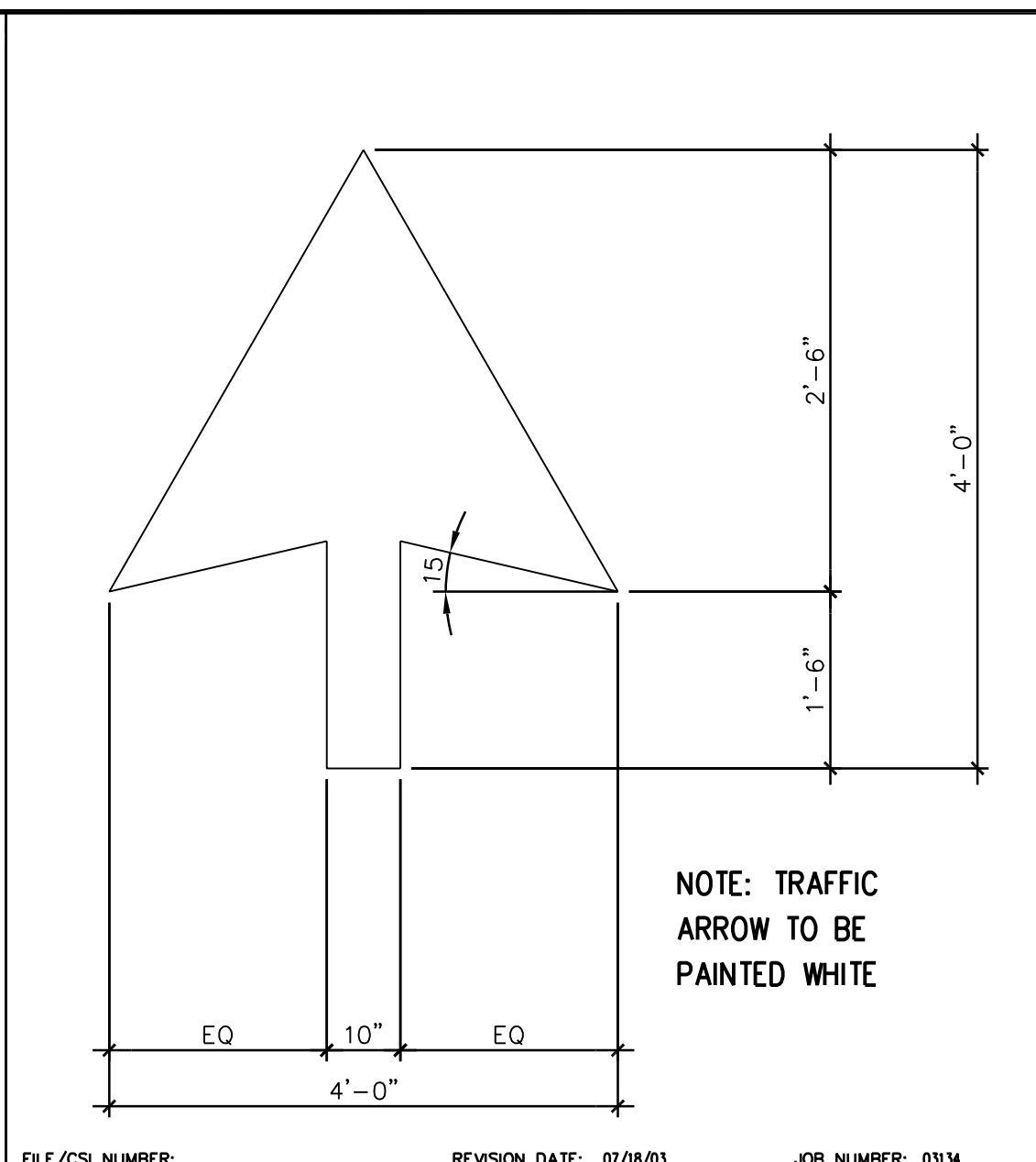
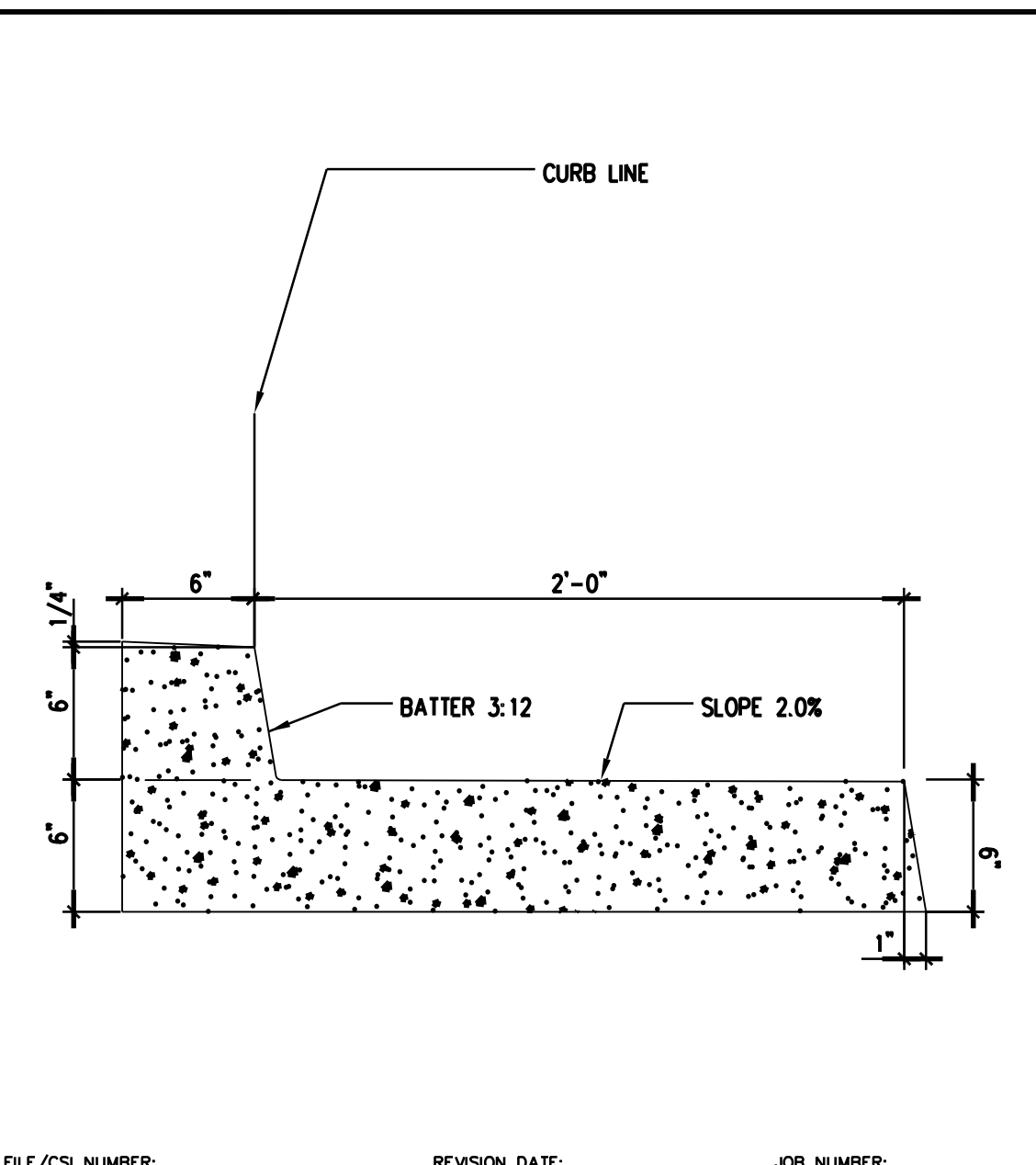
1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

ENLARGED
SITE PLAN

DRAWING NUMBER: **A1.2**

GENERAL NOTES



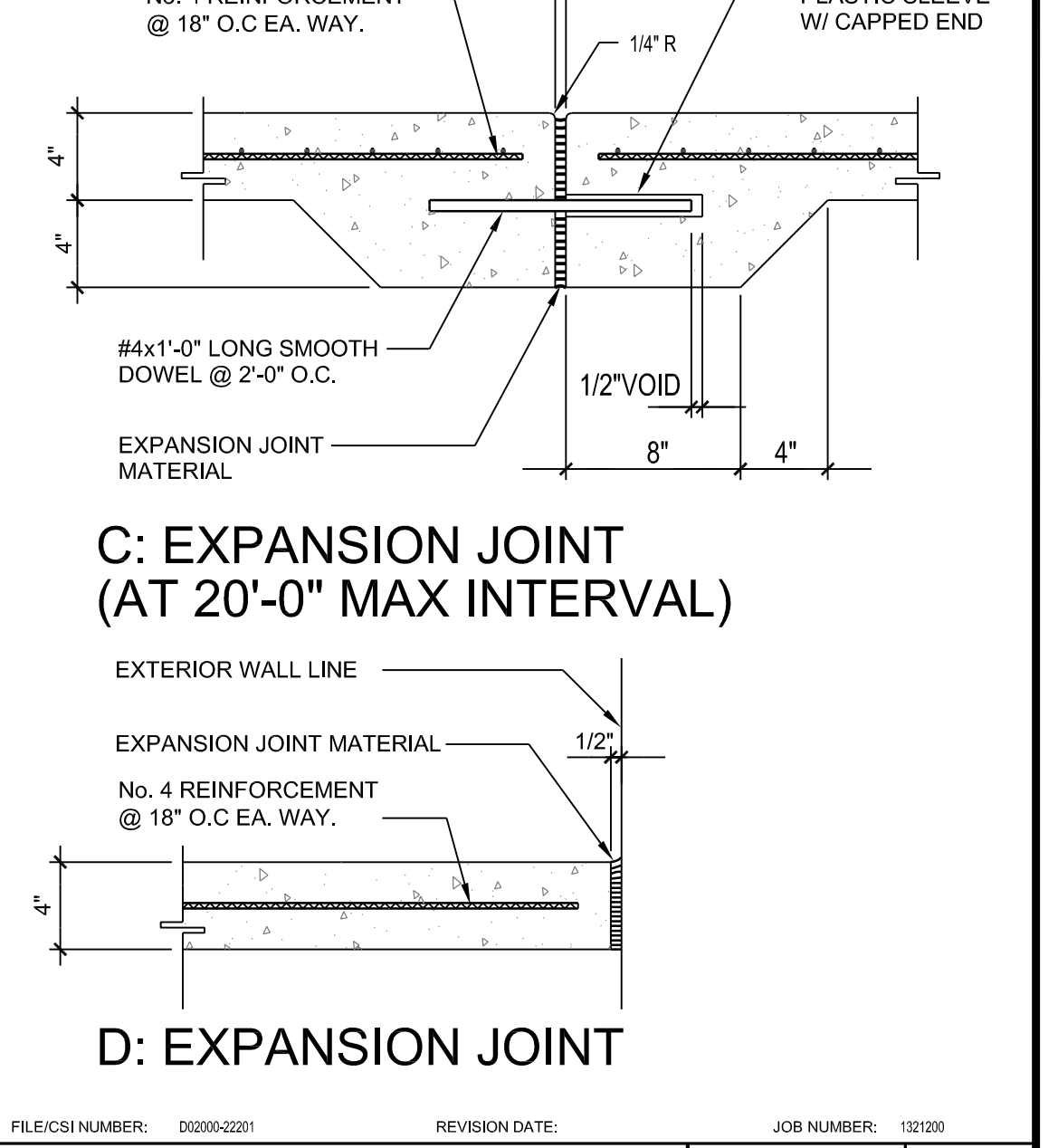
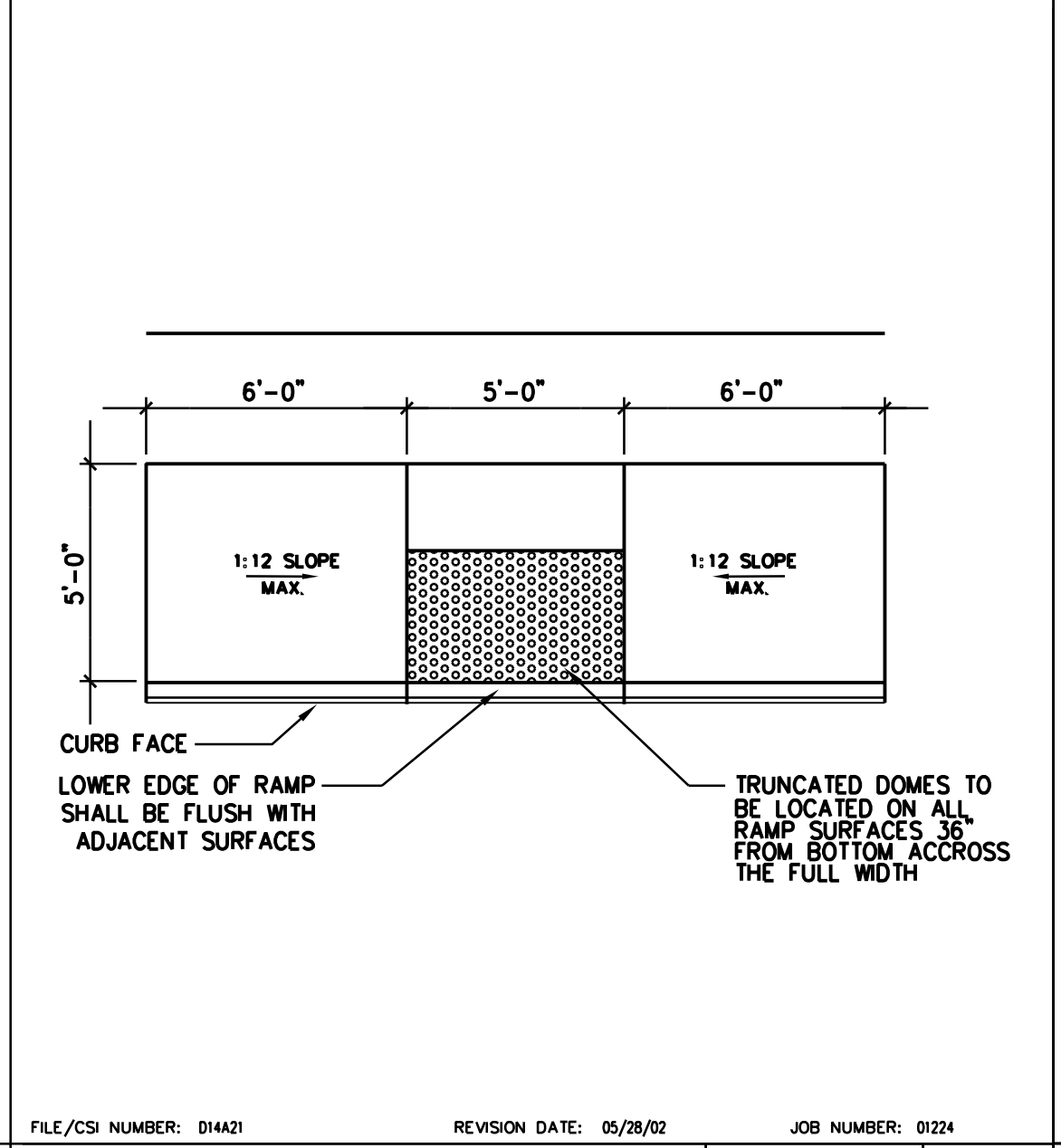
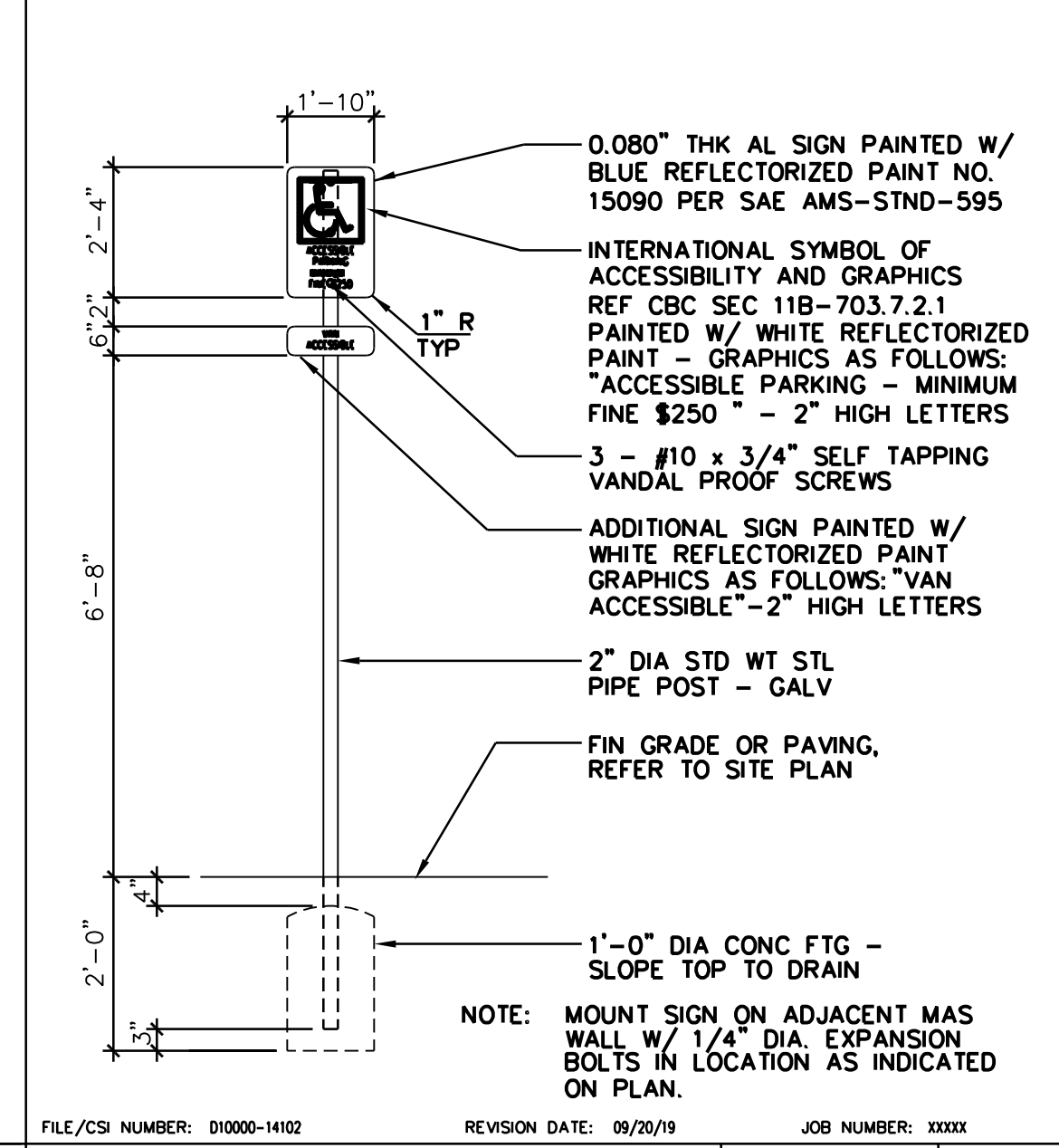
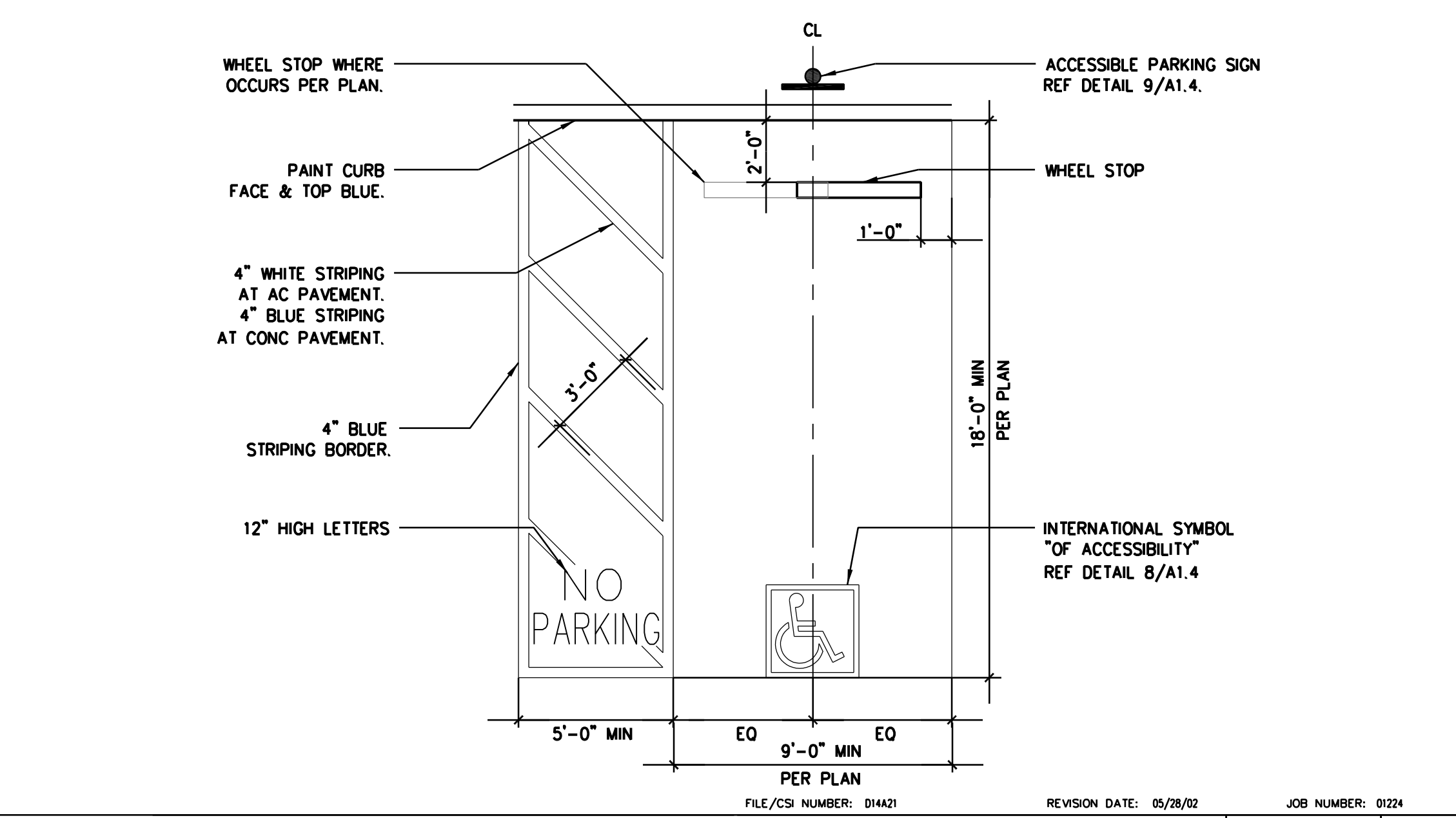
21 CURB AND GUTTER 1 1/2"=1'-0"

17 TRAFFIC ARROW 1/2"=1'-0"

13 PARKING SIGN 1/2"=1'-0"

9

5



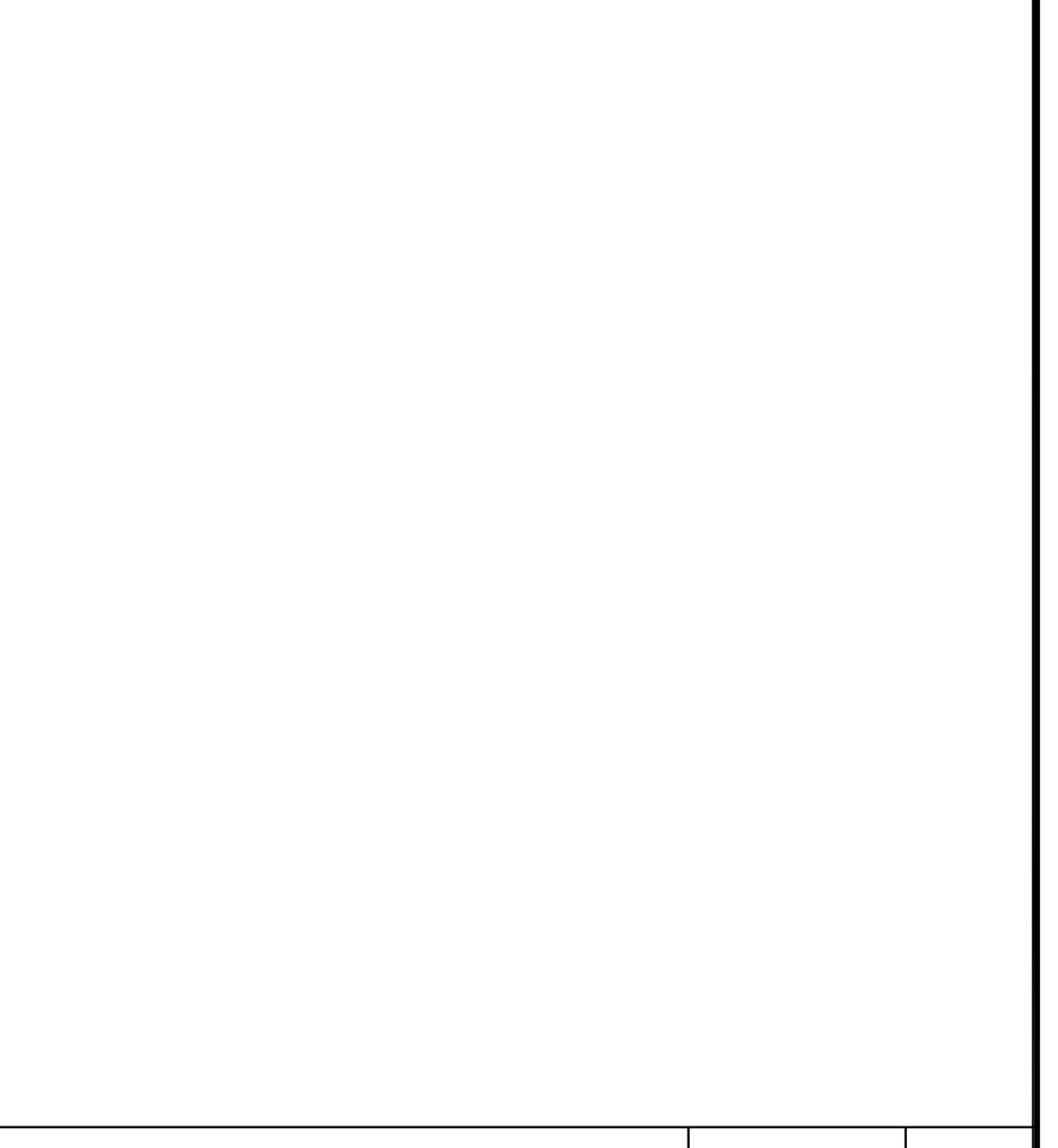
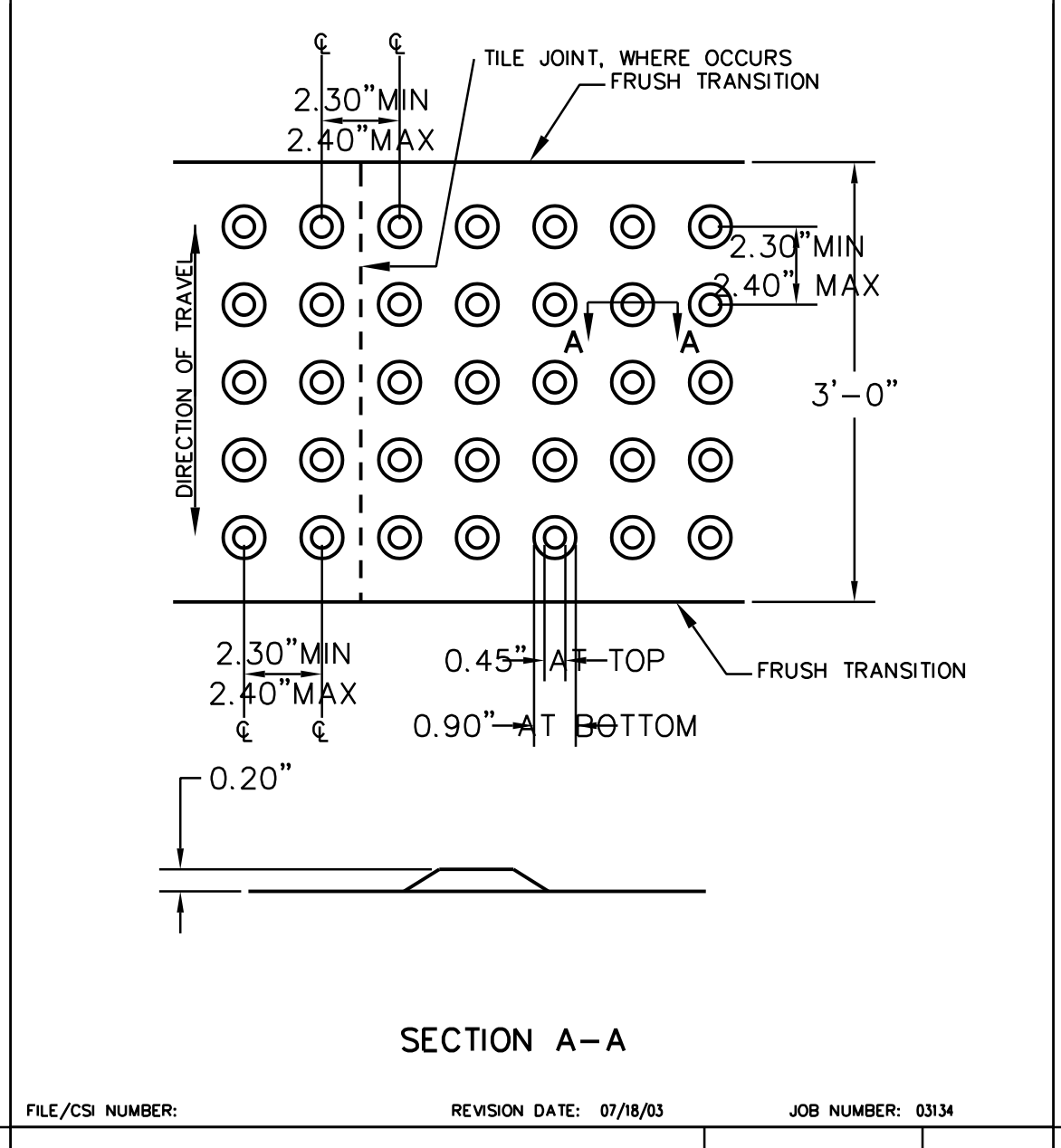
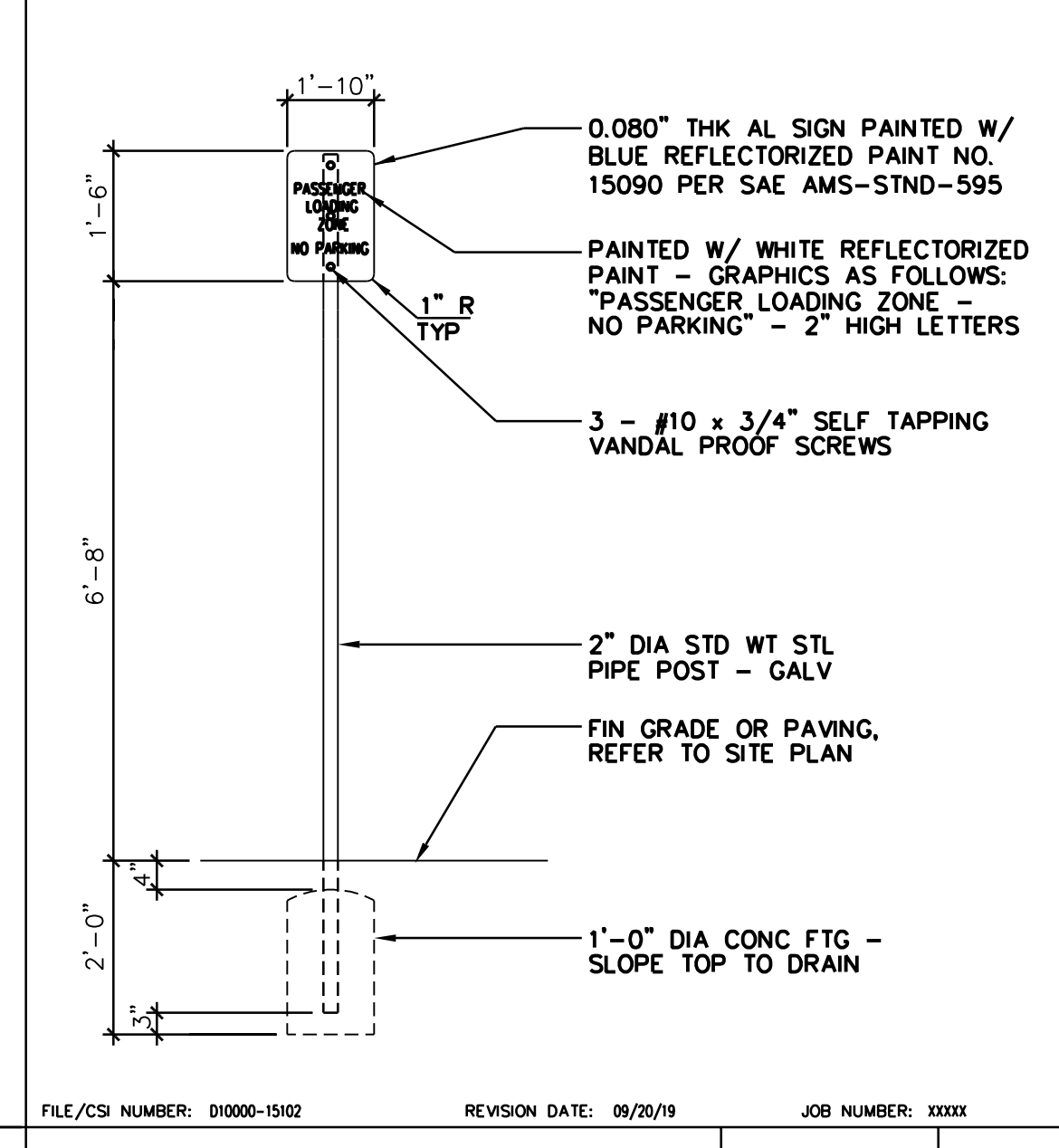
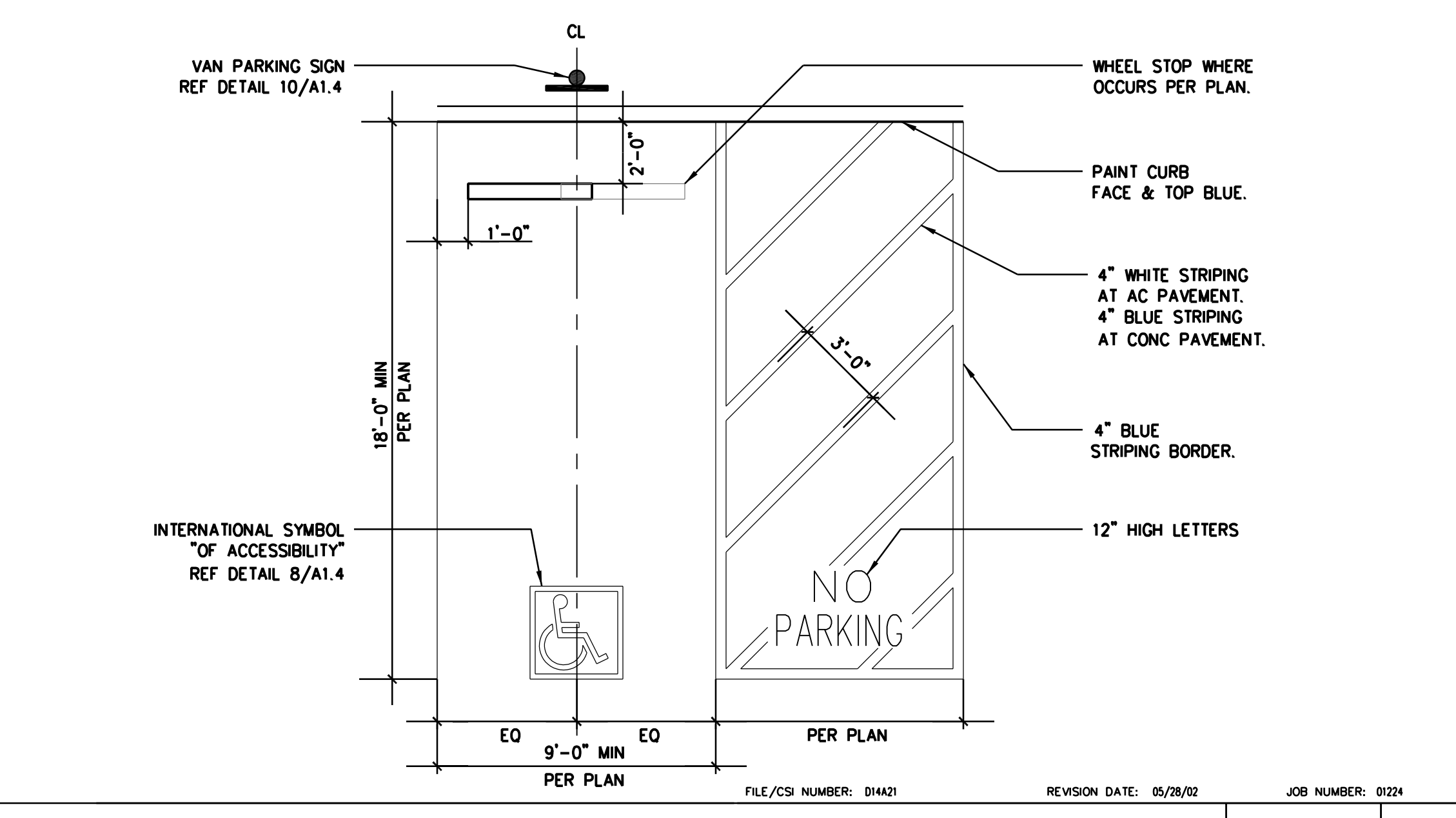
22

14 ACCESSIBLE PARKING 1/4"=1'-0"

10 PARKING SIGN 1/2"=1'-0"

6 CURB RAMP 1/4"=1'-0"

2 TYP CONCRETE PAVING 1 1/2"=1'-0"



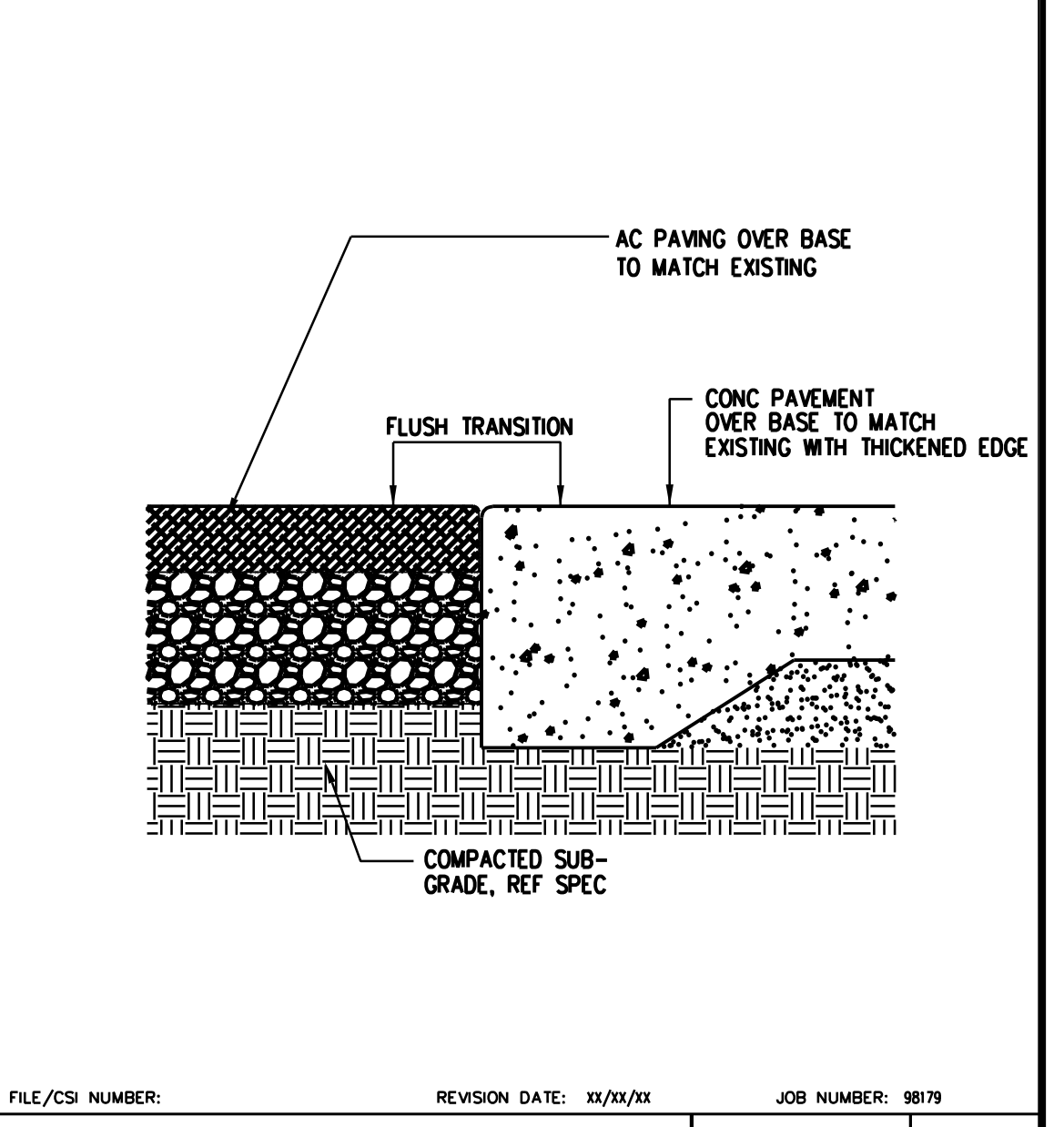
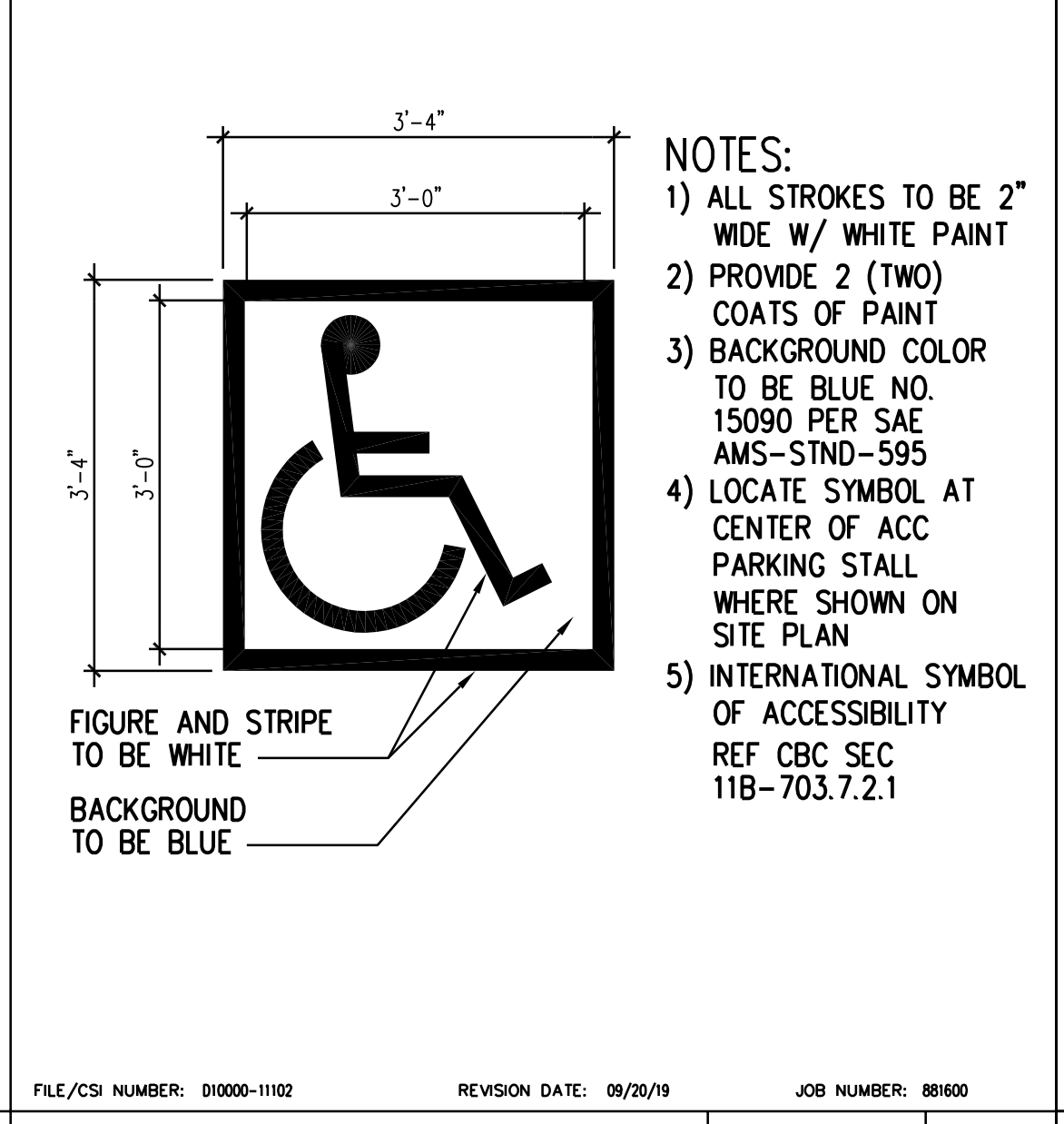
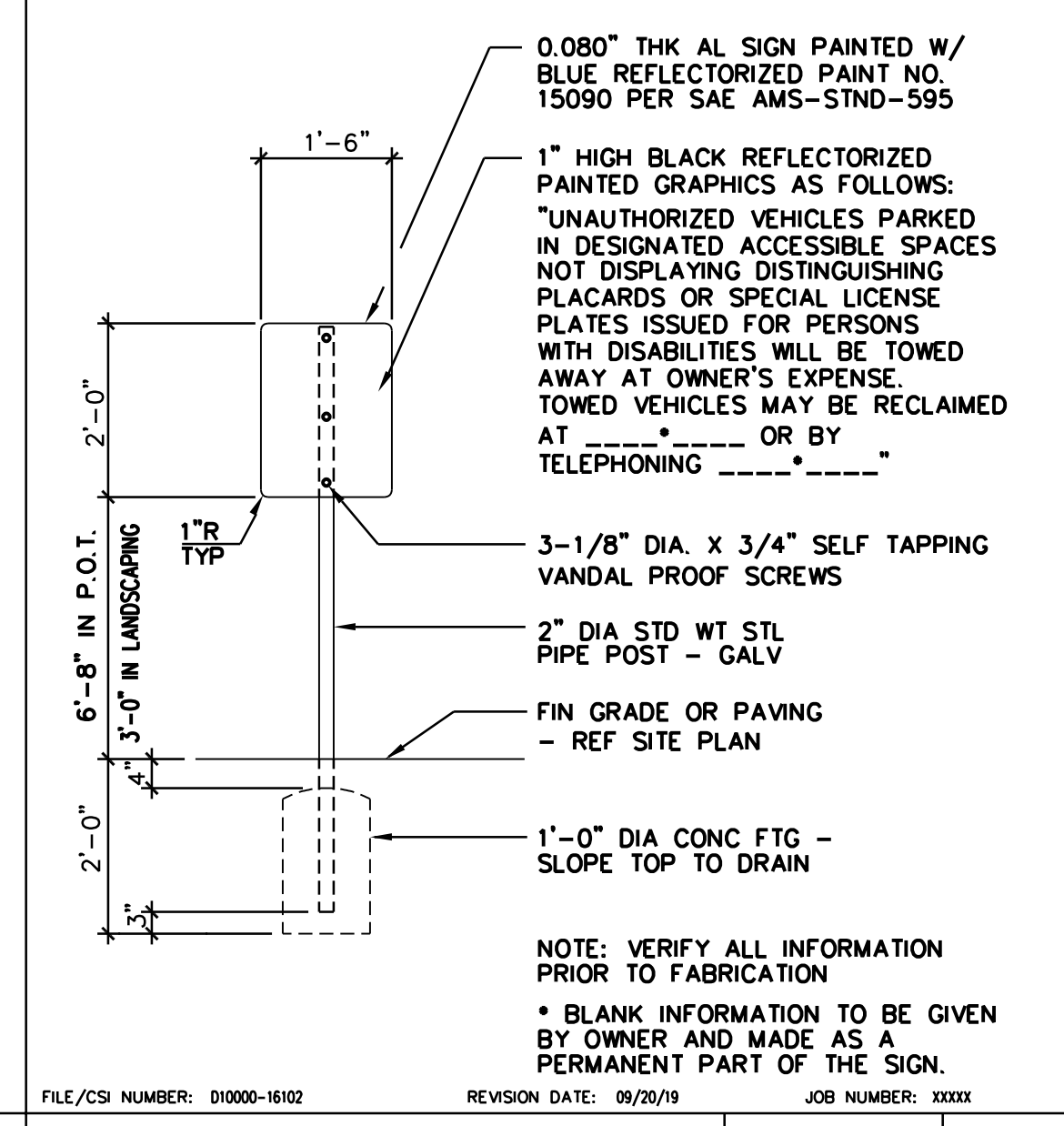
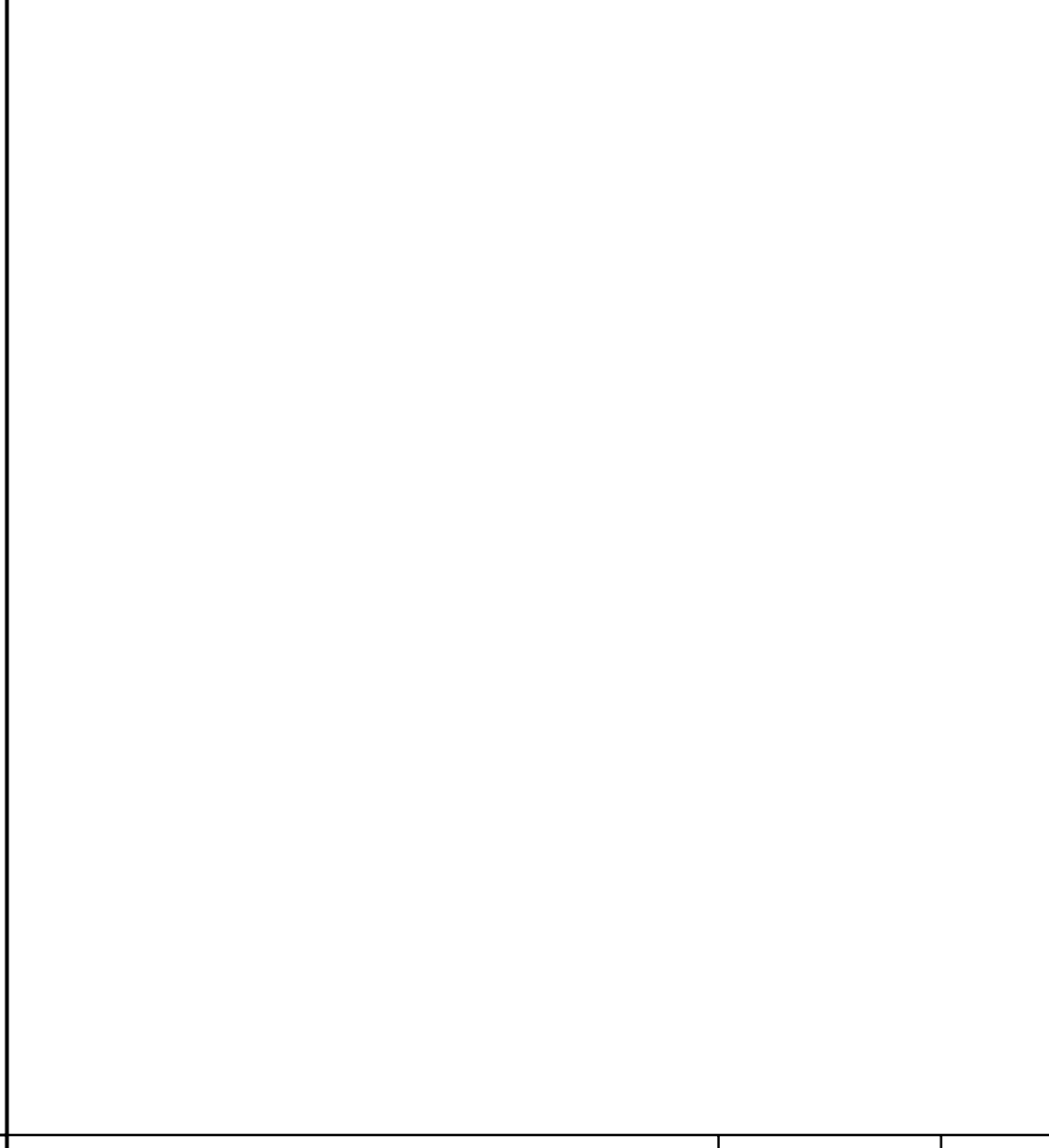
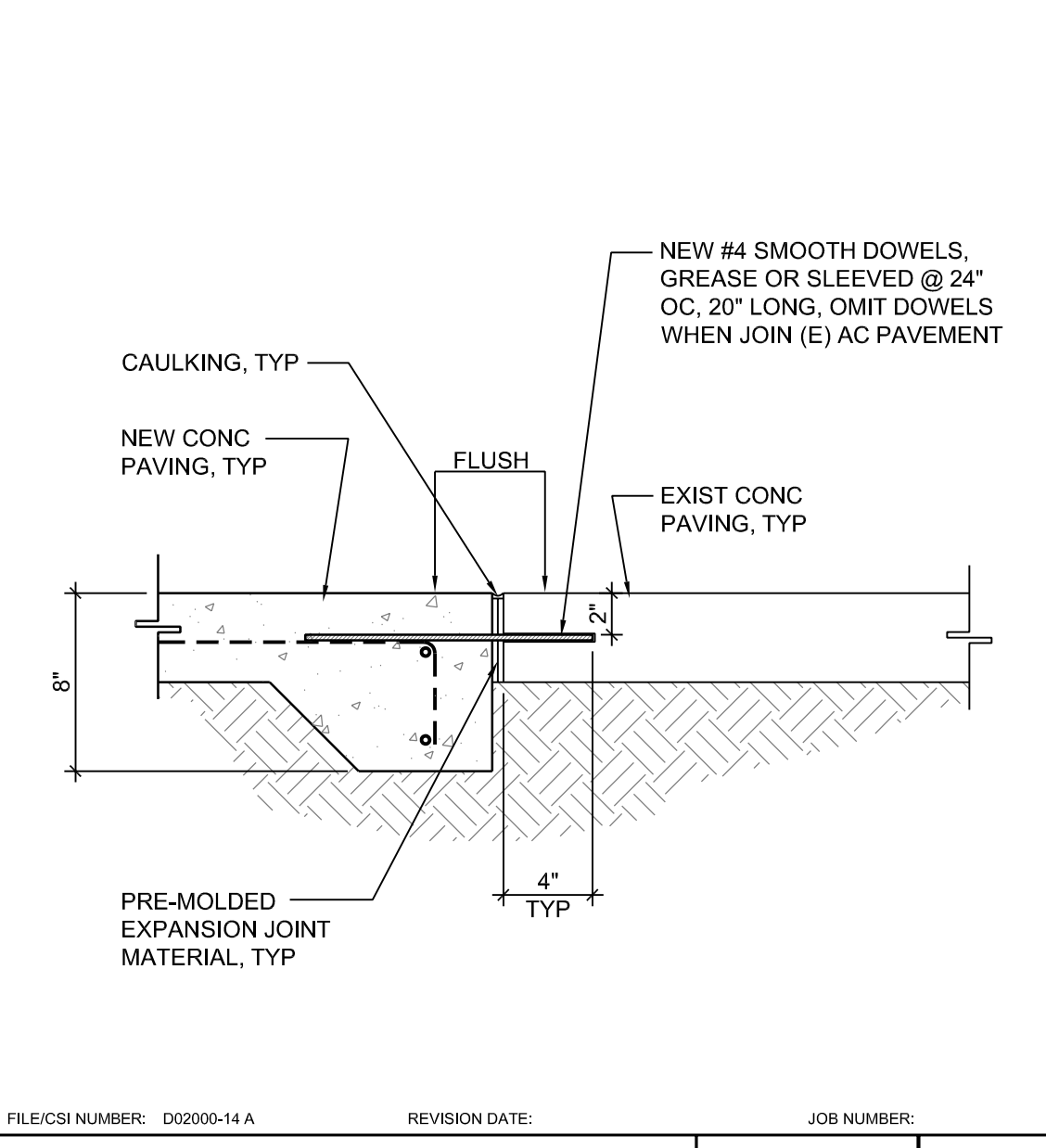
23

15 VAN ACCESSIBLE PARKING 1/4"=1'-0"

11 DROP-OFF SIGN 1/2"=1'-0"

7 TRUNCATED DOME DETAIL NTS

3



24 CONC PAVING JT W/ EXG CONC 1 1/2"=1'-0"

20

16 PARKING SIGN 1/2"=1'-0"

8 ACCESS SIGN 3/4"=1'-0"

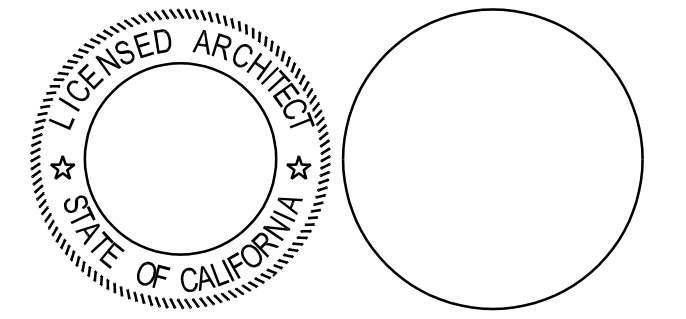
4 PAVEMENT TRANSITION 1 1/2"=1'-0"

4



RANCHO CUCAMONGA
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TRANSPORTATION FACILITY
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
12393 LOCUST AVE.
VICTORVILLE, CA 92395



CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			
DRAWN: WLC		CHECKED: .	
DATE: 02/24/2023		SCALE: AS NOTED	
PROJECT NUMBER: 000000			

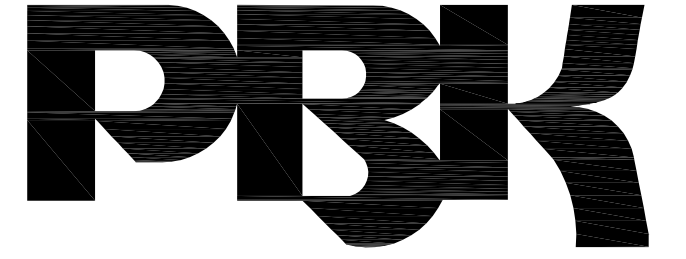
DETAILS

DRAWING NUMBER: A1.3

MILLIONAIRE MIND AND KIDS PARKING LOT SLURRY SEAL

VICTOR ELEMENTARY SCHOOL DISTRICT

15579 8TH ST.
VICTORVILLE, CA 92395



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

GENERAL NOTES

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING ON THIS SITE TO AVOID INTERCEPTING EXISTING PIPING AND CONDUITS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACT. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD ANY UNIDENTIFIED CONDITIONS BE DISCOVERED. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
3. THESE DOCUMENTS AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF PBK ARCHITECTS, INC., AND ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF PBK ARCHITECTS, INC.
4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS PREPARED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, PBK ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OR ADEQUACY OF ANY WORK SHOWN AS EXISTING NOR IS PBK ARCHITECTS, INC. RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.
5. FIRE SAFETY DURING CONSTRUCTION
 - A. GENERAL: FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9, CHAPTER 33.
 - B. ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS SHALL BE ESTABLISHED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 33.
 - C. WATER SUPPLY: WATER MAINS AND HYDRANTS SHALL BE OPERATIONAL IN ACCORDANCE WITH CHAPTER 33.
 - D. BUILDING ACCESS: ACCESS TO BUILDINGS FOR THE PURPOSE OF FIREFIGHTING SHALL BE PROVIDED. CONSTRUCTION MATERIAL SHALL NOT BLOCK ACCESS TO BUILDINGS, HYDRANTS OR FIRE APPLIANCES.
 - E. ALTERATIONS OF BUILDINGS: SHALL COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 33.
 - F. DEMOLITION OF BUILDINGS: SHALL COMPLY APPLICABLE PROVISIONS OF CHAPTER 33.
 - G. FIRE WATCH: MAINTAIN FIRE WATCH WHEN REQUIRED BY THE BUILDING OFFICIAL AND WHEN EXISTING FIRE PROTECTION SYSTEMS ARE SHUT DOWN FOR ALTERATIONS. FIRE WATCH SHALL REMAIN IN EFFECT UNTIL EXISTING FIRE PROTECTION SYSTEMS ARE RETURNED TO SERVICE OR AS ALLOWED BY THE BUILDING OFFICIAL.

6. INSPECTOR OF RECORD REQUIREMENTS:
 - A. DSA ACCESS REVIEW ONLY PROJECT I.O.R. NOT REQUIRED.
7. ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
9. CHANGES MADE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY TITLE 24, CCR, PART 1, SECTION 4-338.
10. SOIL BEARING PRESSURE ASSUMED AT : 1,500 PSF PER CBC TABLE 1806A.2, ITEM 5.
11. A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT(OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
12. PATH OF TRAVEL (POT) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 4'-0" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM AND SMOOTH. MAXIMUM GROSS-SLOPE IS 2% TYPICAL AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5%. PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 6'-8" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL BETWEEN 2'-3" AND 6'-8" ABOVE SURFACE OF PATH OF TRAVEL. CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED AND PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B-206.
13. GRATINGS LOCATED IN THE SURFACE OF ANY PEDESTRIAN WAY IN THE PATH OF TRAVEL SHALL HAVE GRID OPENINGS IN GRATINGS LIMITED TO 1/2" MAXIMUM IN SIZE IN THE DIRECTION OF TRAFFIC FLOW. IF SUCH CONDITION OCCURS, MANUFACTURERS CUT-SHEETS WILL BE PROVIDED FOR REVIEW.
14. GATES IN THE PATH OF TRAVEL MUST COMPLY WITH EXIT DOOR REQUIREMENTS OF CALIFORNIA BUILDING CODE (CBC) SECTION 1003.3.1. GATES WILL BE PROVIDED WITH PANIC HARDWARE AND A 10" HIGH KICK PLATE AT THE BOTTOM OF BOTH SIDES OF THE GATE.
15. ALL NEW CONCRETE PAVING WITH A SLOPE LESS THAN 6% SHALL BE PROVIDED WITH A MINIMUM MEDIUM BROOM NON-SLIP FINISH.
16. ALL NEW CONCRETE PAVING WITH A SLOPE GREATER THAN 6% SHALL BE PROVIDED WITH A HEAVY BROOM NON-SLIP FINISH.
17. FULLY COOPERATE AND CONSULT WITH ALL SEPARATE CONTRACTORS FURNISHING LABOR, MATERIALS OR SERVICES ON SITE SO THAT THE WORK CAN BE EXECUTED IN AN EFFICIENT MANNER WITH OUT CONFLICT OR DELAY.

18. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ADDITION, ALTERATION OR RECONSTRUCTION IS IN COMPLIANCE WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT IDENTIFIED BY THE CONTRACT DOCUMENTS WHEREIN THE FINAL WORK WOULD NOT COMPLY WITH THE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT OF THE CONDITION IN WRITING. NECESSARY INFORMATION REQUIRED TO CORRECT THE CONDITIONS ENCOUNTERED WILL BE ISSUED BY THE ARCHITECT. A CCD MAY BE ISSUED TO ADJUST THE CONTRACT SUM OR TIME COMMENSURATE WITH THE AMOUNT OF ADDITIONAL WORK REQUIRED IF ANY. THE CCD SHALL BE APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK REQUIRED BY THE CHANGE ORDER.

19. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

GOVERNING CODES

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1

2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2

2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3

2022 CALIFORNIA MECHANICAL CODE (CMC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4

2022 CALIFORNIA PLUMBING CODE (CPC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5

2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6

2022 CALIFORNIA HISTORICAL BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 8

2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 9

2022 CALIFORNIA EXISTING BUILDING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 10

2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11

2022 CALIFORNIA REFERENCED STANDARDS CODE - CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12

CALIFORNIA ELEVATOR SAFETY CODE, CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 8 (AS AMENDED TO DATE)

2010 AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN (ADAS)

APPLICABLE NFPA, UL AND ICC STANDARDS FOR FOR A LIST APPLICABLE STANDARDS, INCLUDING CALIFORNIA AMENDMENTS TO THE NFPA STANDARDS, REFER TO CBC CHAPTER 35 AND CFC CHAPTER 80.

(2021 INTERNATIONAL BUILDING CODE (IBC) W/ CALIFORNIA AMENDMENTS)

(2020 NATIONAL ELECTRIC CODE (NEC) W/ CALIFORNIA AMENDMENTS)

(2021 UNIFORM MECHANICAL CODE (UMC) W/ CALIFORNIA AMENDMENTS)

(2021 UNIFORM PLUMBING CODE (UPC) W/ CALIFORNIA AMENDMENTS)

(2021 INTERNATIONAL FIRE CODE (IFC) W/ CALIFORNIA AMENDMENTS)

(2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) W/ CALIFORNIA AMENDMENTS)

1990 STATE FIRE MARSHAL REGULATIONS (AS AMENDED TO DATE) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19

SHEET INDEX

DRAWING REF NO	DESCRIPTION
A0.1	GENERAL NOTES / PROJECT DIRECTORY
A1.1	ENLARGED SITE PLAN
A1.2	DETAILS
TOTAL NUMBER OF SHEETS: 3	

PROJECT TEAM

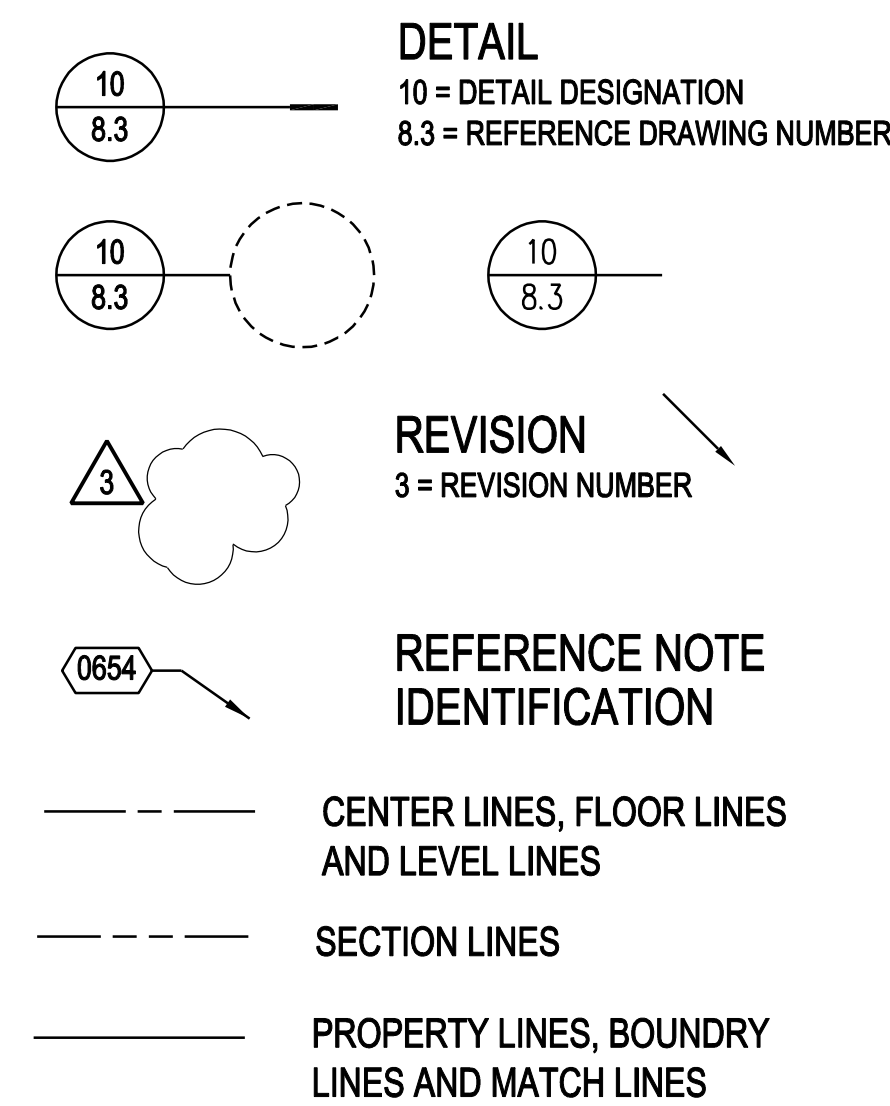
PROJECT ADDRESS
MILLIONAIRE MIND AND KIDS
15579 8TH ST.,
VICTORVILLE, CA 92395
PHONE: XXX-XXX-XXXX

OWNER
VICTOR ELEMENTARY SCHOOL DISTRICT
12219 2ND AVE.
VICTORVILLE, CA 92395
PHONE: 760-245-1691

ARCHITECT
PBK ARCHITECTS, INC.
8163 ROCHESTER AVE., SUITE 100
RANCHO CUCAMONGA, CA 91730
PHONE: 909-987-9909 FAX: 909-980-9980

**MILLIONAIRE MIND AND KIDS
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT**
15579 EIGHT ST.
VICTORVILLE, CA 92395

DRAFTING SYMBOL LEGEND & ABBREVIATIONS



ABBREVIATIONS			
&	AND	MISC	MISCELLANEOUS
@	AT	NA	NOT APPLICABLE
CL	CENTERLINE	NTS	NOT TO SCALE
(E)	EXISTING	OI	OVER
(N)	NEW	OC	ON CENTER(S)
#	POUND OR NUMBER	OFCI	OWNER FURNISHED - CONTRACTOR INSTALLED
BLDG	BUILDING	OFOI	OWNER FURNISHED - OWNER INSTALLED
EA	EACH		
CL	CHAIN LINK	SCHED	SCHEDULE
CLR	CLEAR(ANCE)	SHT MTL	SHEET METAL
CLRM	CLASSROOM	SLP	SLOPE
CONC	CONCRETE	STD	STANDARD
DEMO	DEMOLISH, DEMOLITION	STL	STEEL
EJ	EXPANSION JOINT		
GA	GAGE	TYP	TYPICAL
GALV	GALVANIZED	W/	WITH

GOVERNING AGENCIES

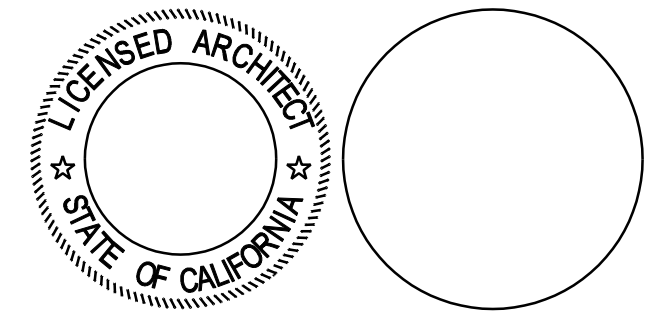
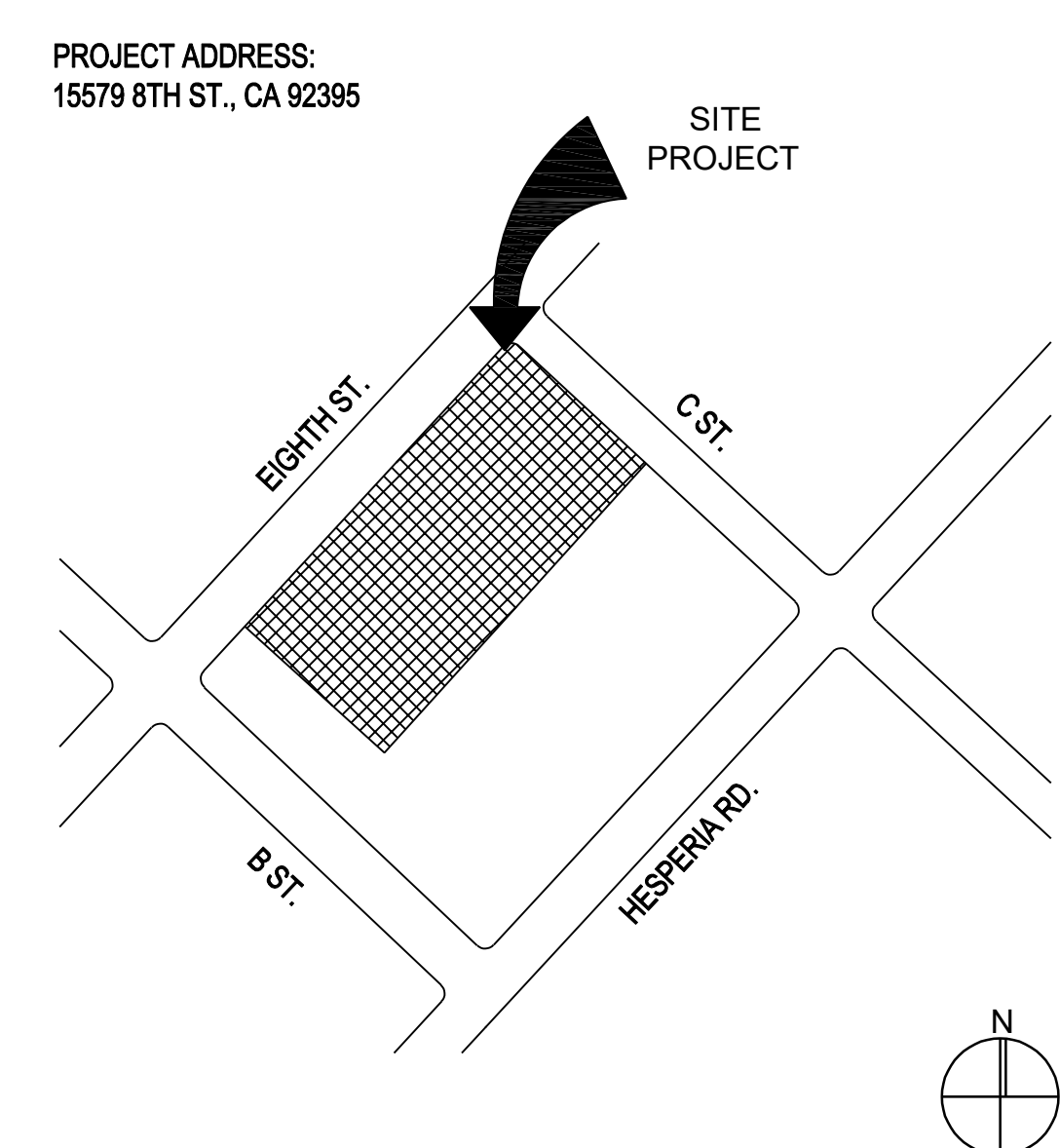
DIVISION OF THE STATE ARCHITECT
ACCESS COMPLIANCE (DSA/AC)
10920 VIA FRONTERA, SUITE 300
SAN DIEGO, CA 92127

SCOPE OF WORK

THE SCOPE OF THE WORK AS STATED BELOW IS FOR DSA PLAN REVIEW PURPOSES ONLY AND DOES NOT CONSTITUTE A DETAILED AND FULL EXPLANATION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

PARKING LOT SLURRY SEAL, STRIPING, AND SITE ADA UPGRADE AS REQUIRED.

VICINITY MAP



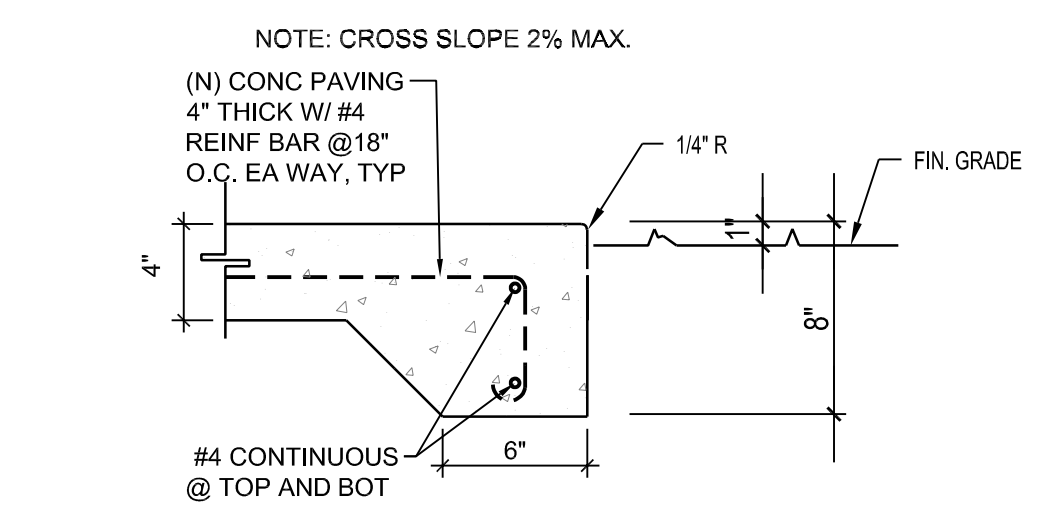
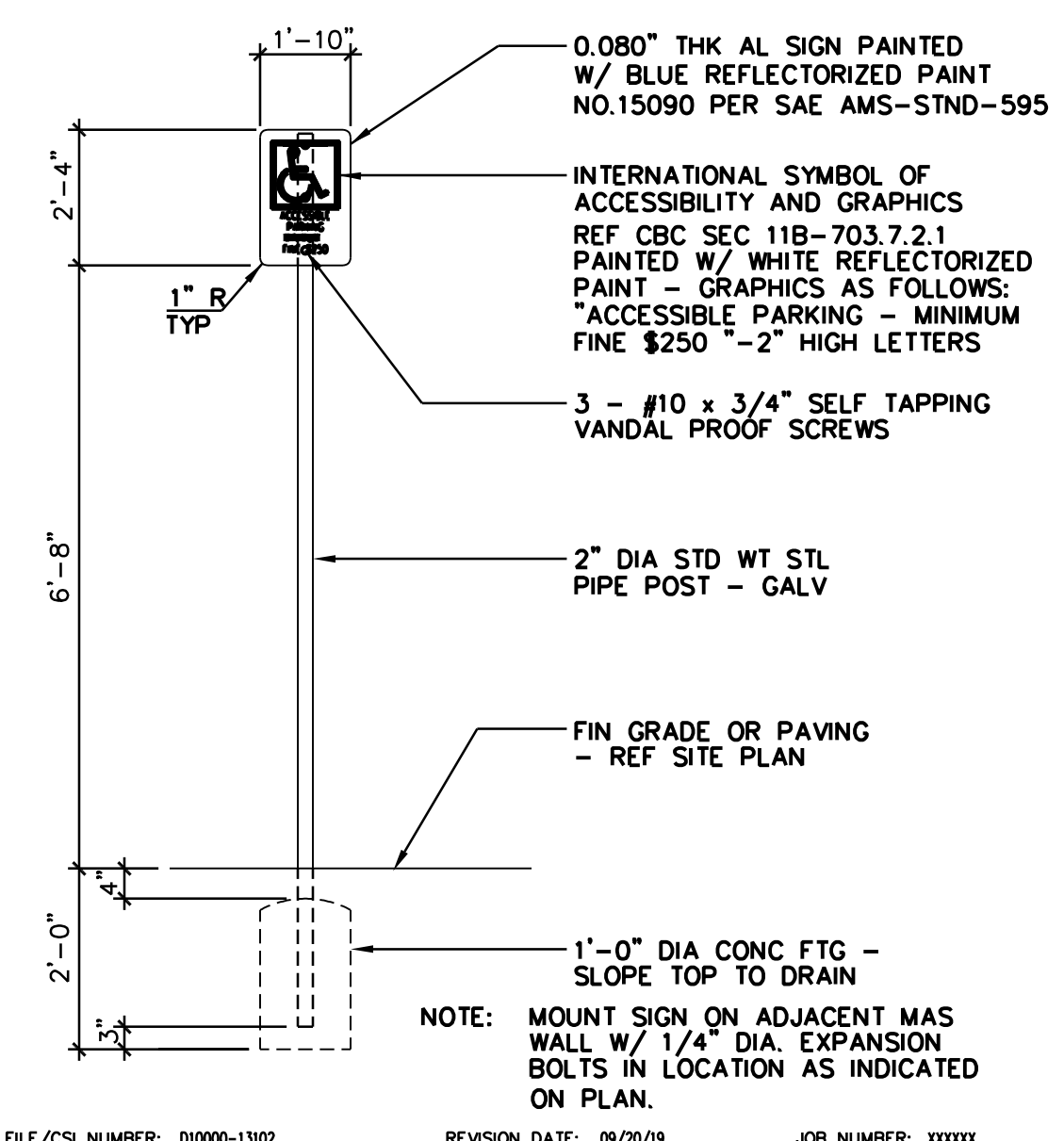
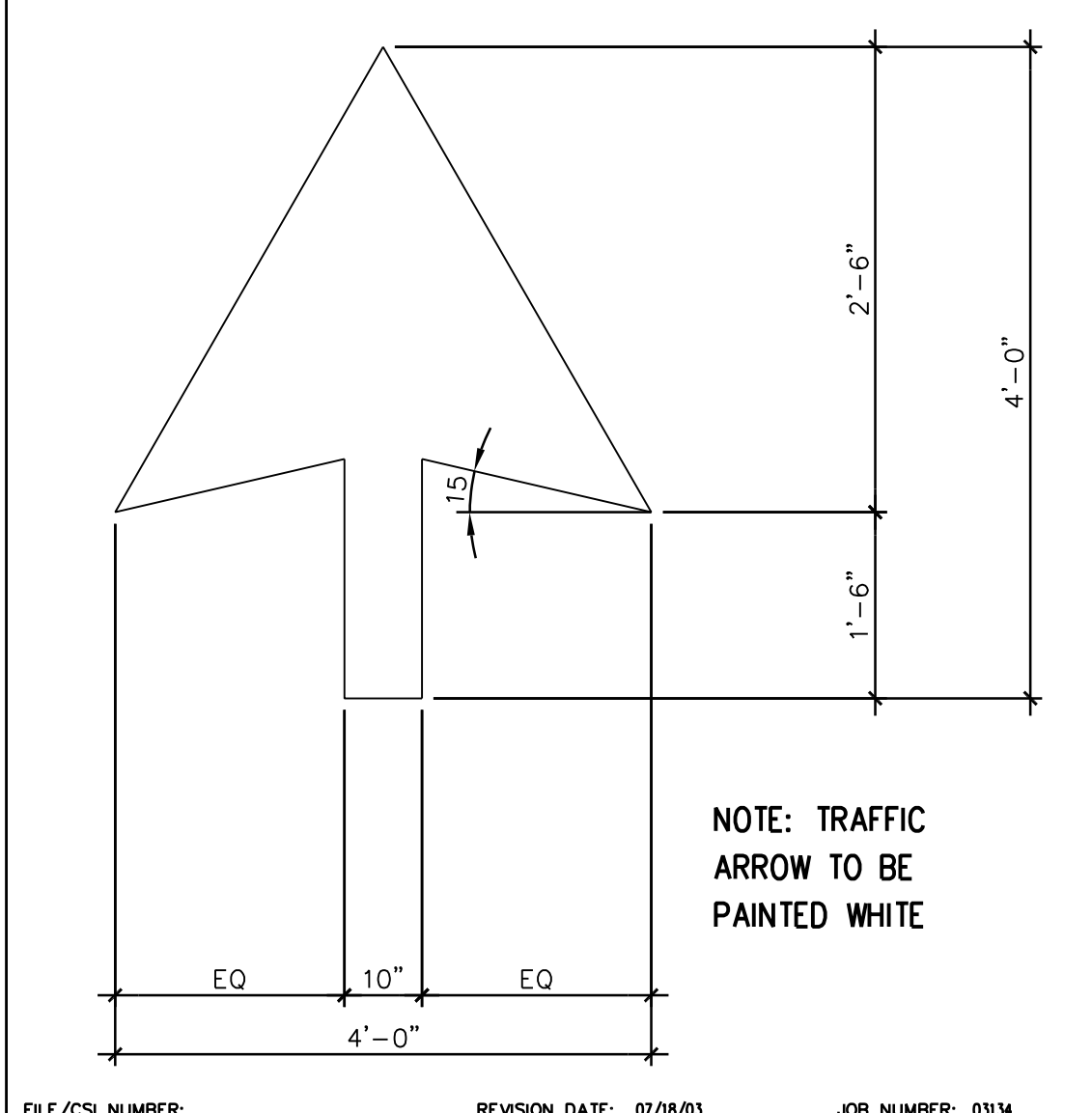
CONSULTANT

NO	DATE	BY	DESCRIPTION
1	5/1/23	PBK	ADDENDUM 01
REVISIONS			

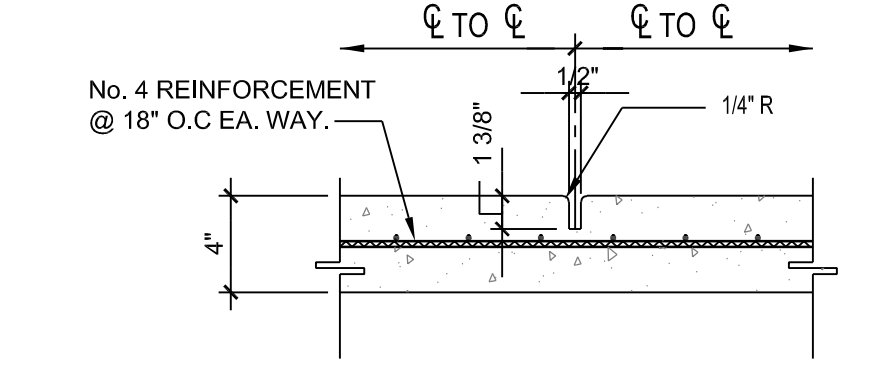
DRAWN: _____ **CHECKED:** _____
DATE: 02/24/2023 **SCALE:** _____
PROJECT NUMBER: 000000

GENERAL NOTES & PROJECT DIRECTORY

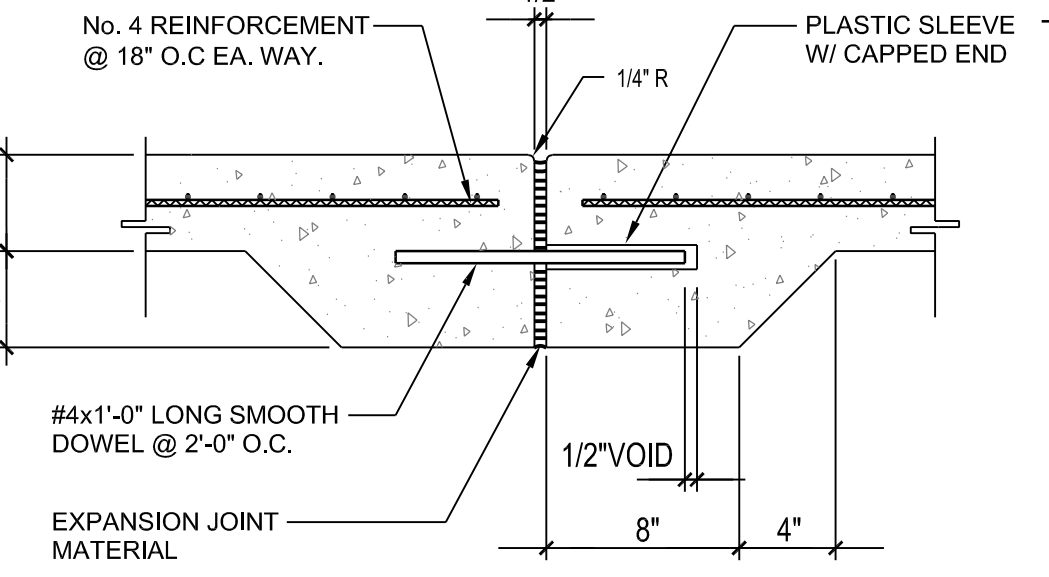
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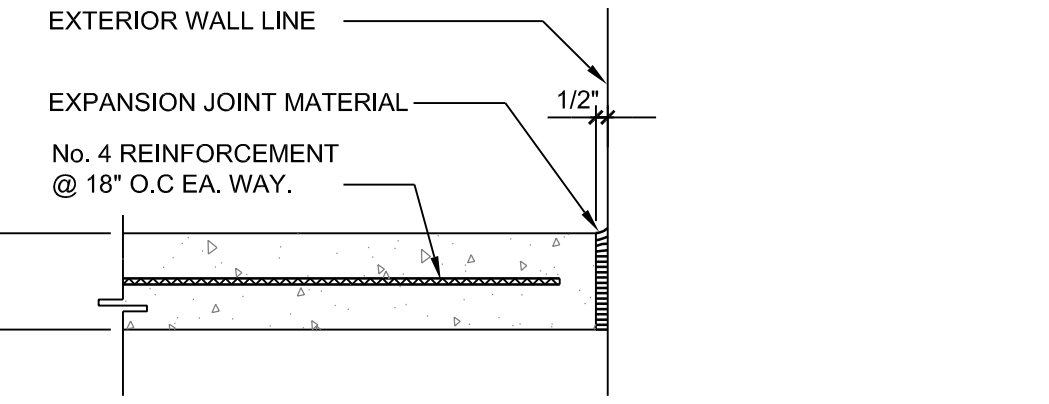
A: PAVING EDGE



B: CONTROL JOINT (AT 5'-0" MAX INTERVAL)



C: EXPANSION JOINT (AT 20'-0" MAX INTERVAL)



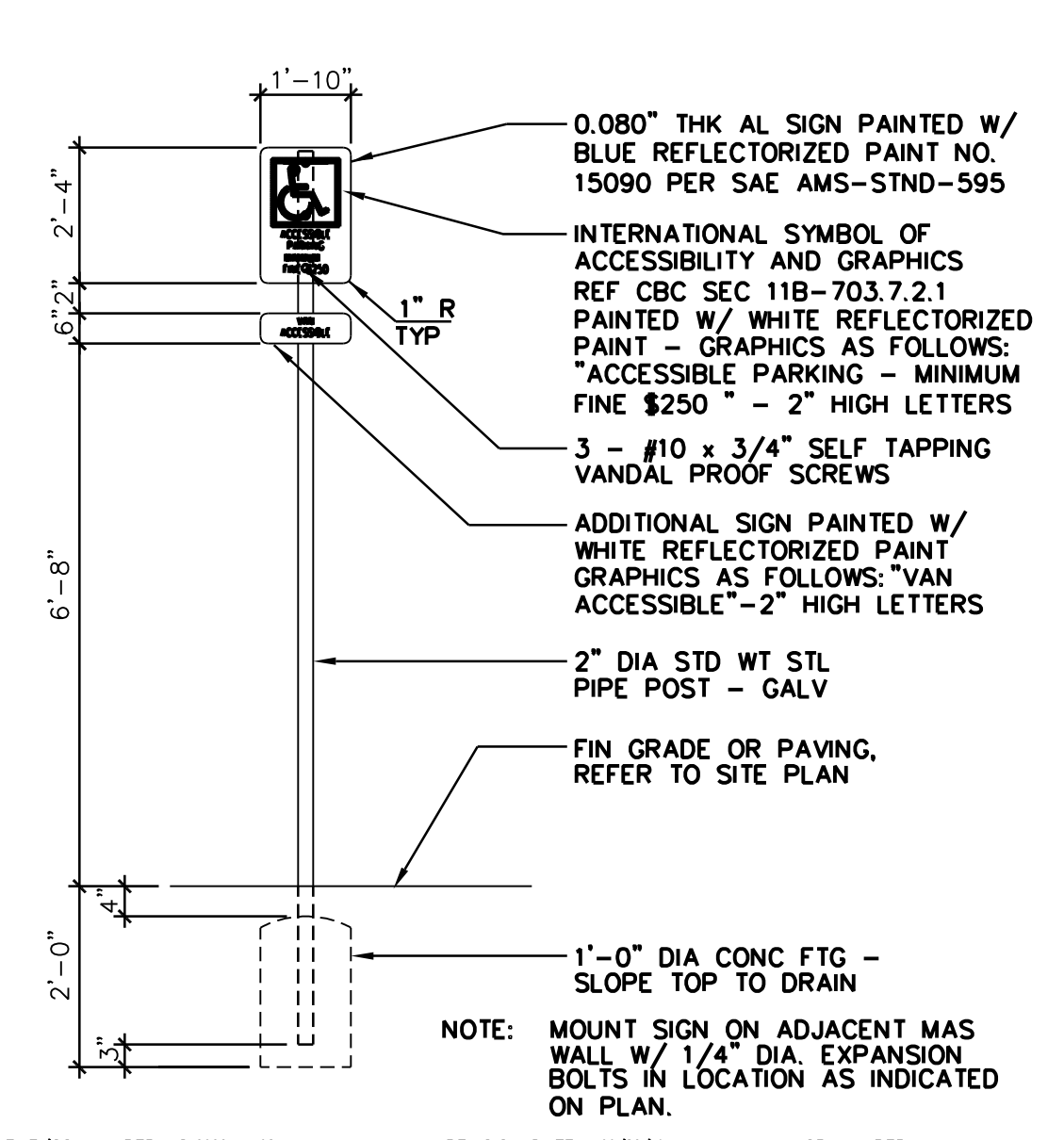
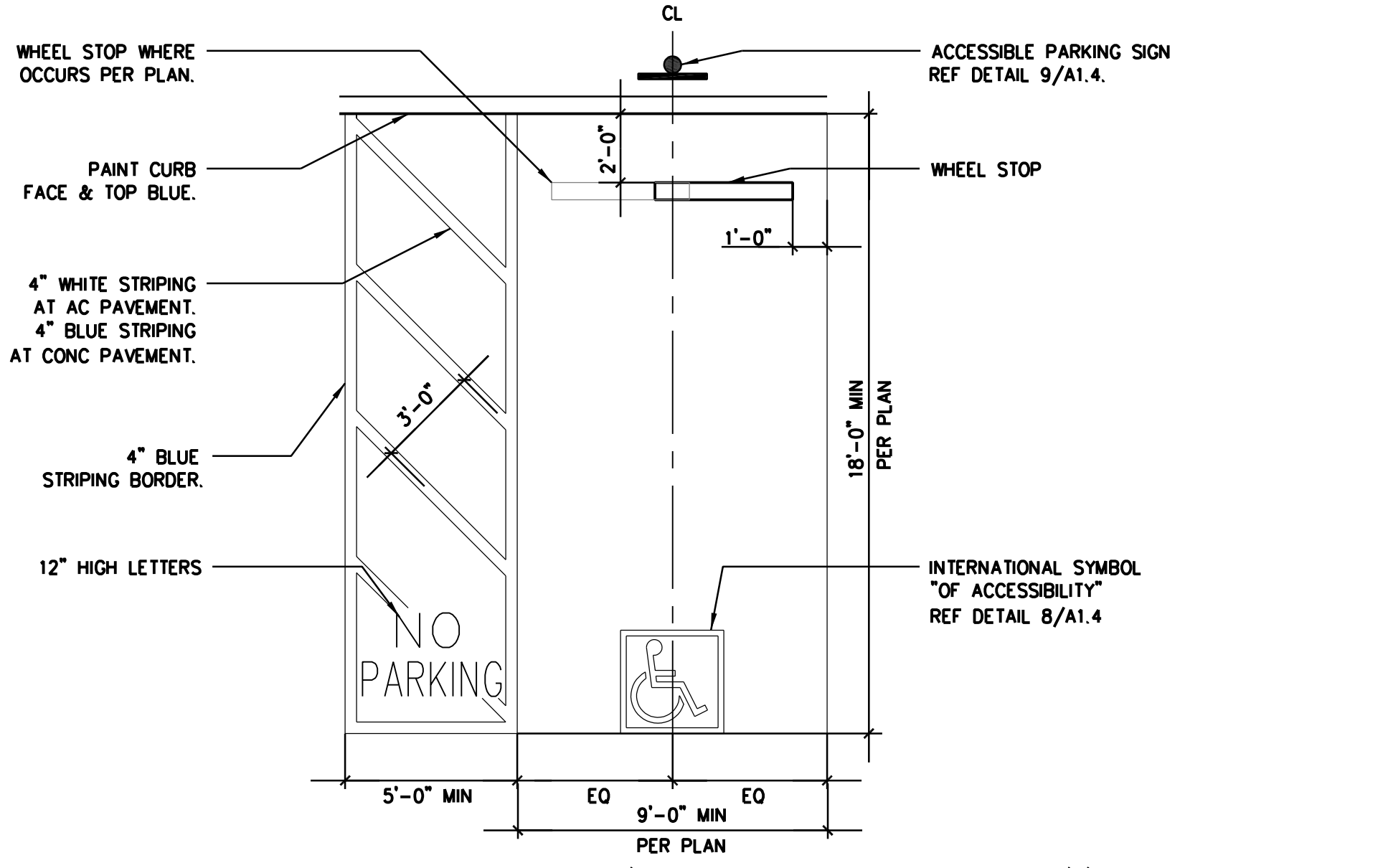
D: EXPANSION JOINT

21

17 TRAFFIC ARROW 1/2"=1'-0"

13 PARKING SIGN 1/2"=1'-0"

5



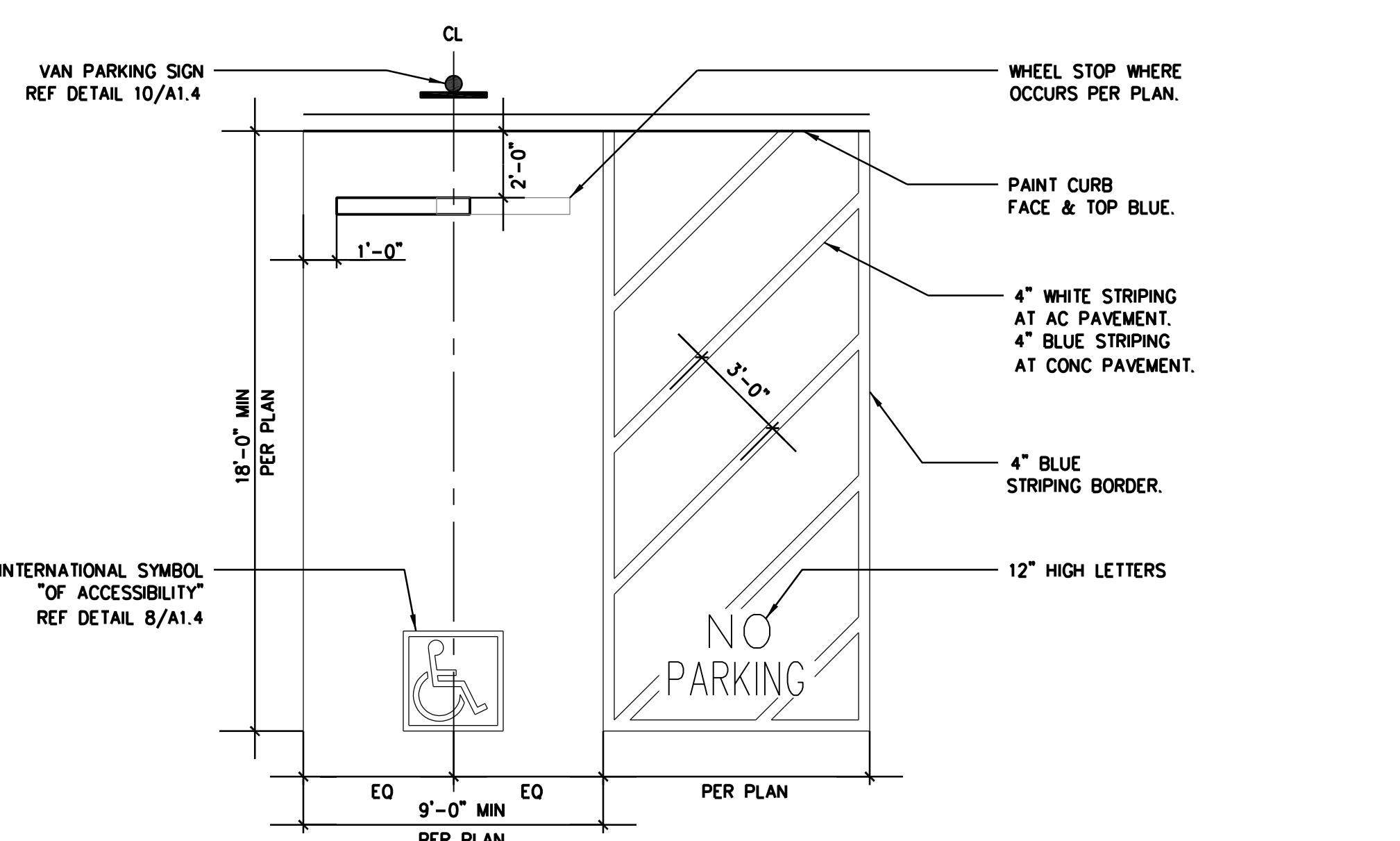
TYP CONCRETE PAVING 1 1/2"=1'-0"

22

14 ACCESSIBLE PARKING 1/4"=1'-0"

10 PARKING SIGN 1/2"=1'-0"

6



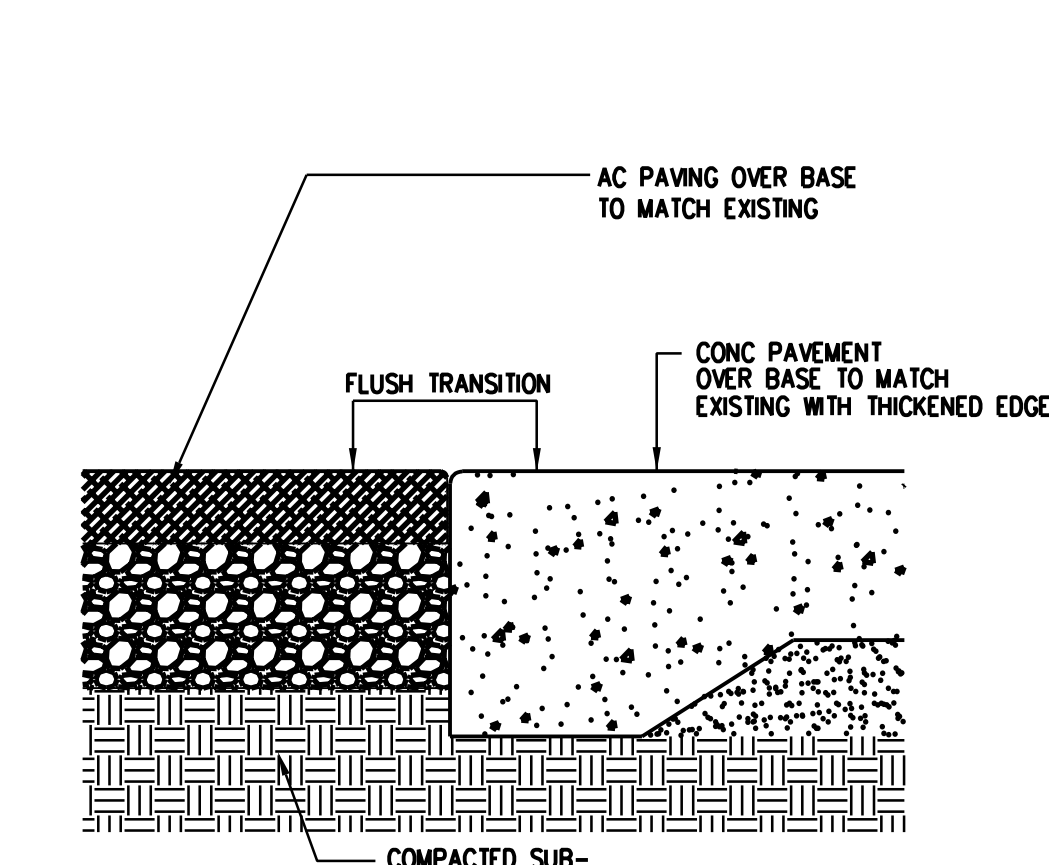
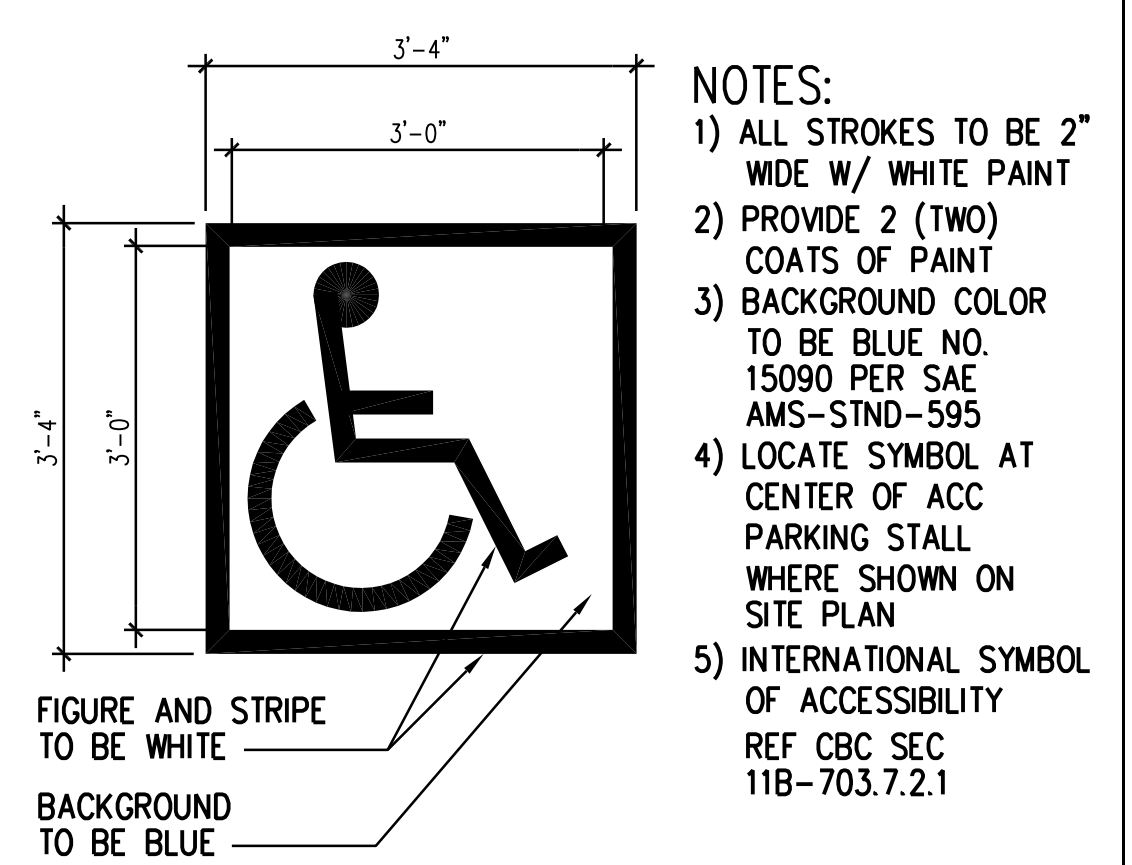
7 TYP CONCRETE PAVING 1 1/2"=1'-0"

23

15 VAN ACCESSIBLE PARKING 1/4"=1'-0"

11

7



12 ACCESS SIGN 3/4"=1'-0"

8 PAVEMENT TRANSITION 1 1/2"=1'-0"

24

20

16

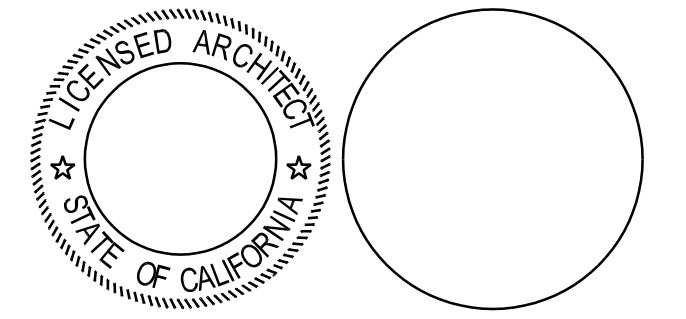
12 ACCESS SIGN 3/4"=1'-0"

8 PAVEMENT TRANSITION 1 1/2"=1'-0"



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0909 P

MILLIONAIRE MIND AND KIDS
PARKING LOT SLURRY SEAL
VICTOR ELEMENTARY SCHOOL DISTRICT
15579 EIGHT ST
VICTORVILLE, CA 92395



NO	DATE	BY	DESCRIPTION

1	5/1/23	PBK	ADDENDUM 01

DRAWN: WLC CHECKED: .
DATE: 02/24/2023 SCALE: AS NOTED
PROJECT NUMBER: 000000

DETAILS

DRAWING NUMBER: A1.2

TOTAL PARKING SPACES = 38	STALL TYPE			TOTAL
ACCESSIBLE PARKING SPACE REQ'D = 2	STANDARD	ACCESSIBLE		38
		STANDARD	VAN	
	36	1	1	

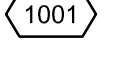
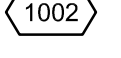
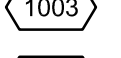
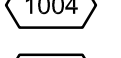
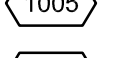
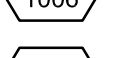
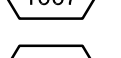
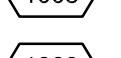
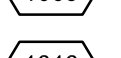
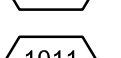
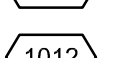
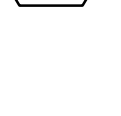
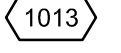
PARK CALCULATION

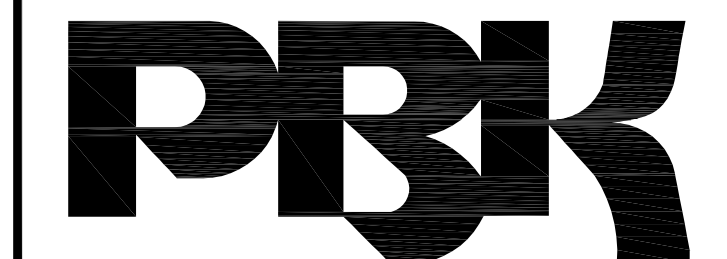
 AREA OF SLURRY COAT, STRIPING, & PAVEMENT

SITE LEGEND

- REMOVE SIGNS, SIGN POSTS, WHEEL STOPS, CONCRETE FLATWORK, AND CONCRETE CURBS AS REQUIRED DO TO NEW WORK. CLEAN, PATH, AND DEMO AREA TO MATCH EXISTING ADJACENT.

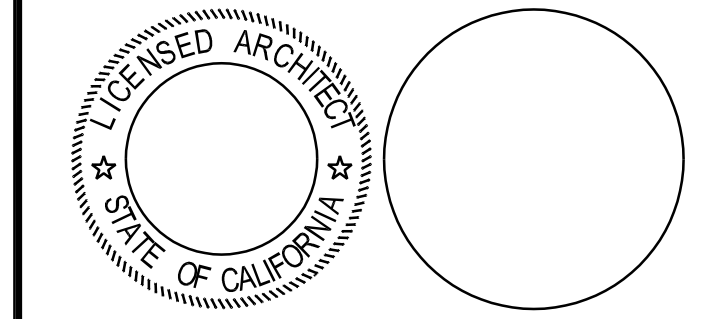
GENERAL NOTES

-  TRAFFIC ARROW PAVEMENT STRIPING, REF DETAIL 13/A1.2.
-  (E) TOW-AWAY SIGN.
-  4" WIDE WHITE PAVEMENT STRIPING.
-  4" WIDE BLUE BORDER PAVEMENT STRIPING.
-  PAINTED ACCESSIBLE SYMBOL, REF DETAIL 8/A1.2.
-  12" H PAINTED WHITE TEXT.
-  ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 9/A1.2.
-  VAN ACCESSIBLE PARKING SIGN AND POST, REF DETAIL 10/A1.2.
-  VAN ACCESSIBLE PARKING STALL, REF DETAIL 15/A1.2.
-  ACCESSIBLE PARKING STALL, REF DETAIL 14/A1.2.
-  WHEEL STOP.
-  ACCESSIBLE AISLE 2% MAX SLOPE IN ALL DIRECTIONS, 4" WIDE BLUE BORDER AND 4" WIDE WHITE DIAGONAL STRIPING.
-  FLUSH TRANSITION, REF DETAIL 4/A1.2.



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RANCHO CUCAMONGA, CA 91730
909-987-0909 P

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15579 EIGHT ST.
VICTORVILLE, CA 92395



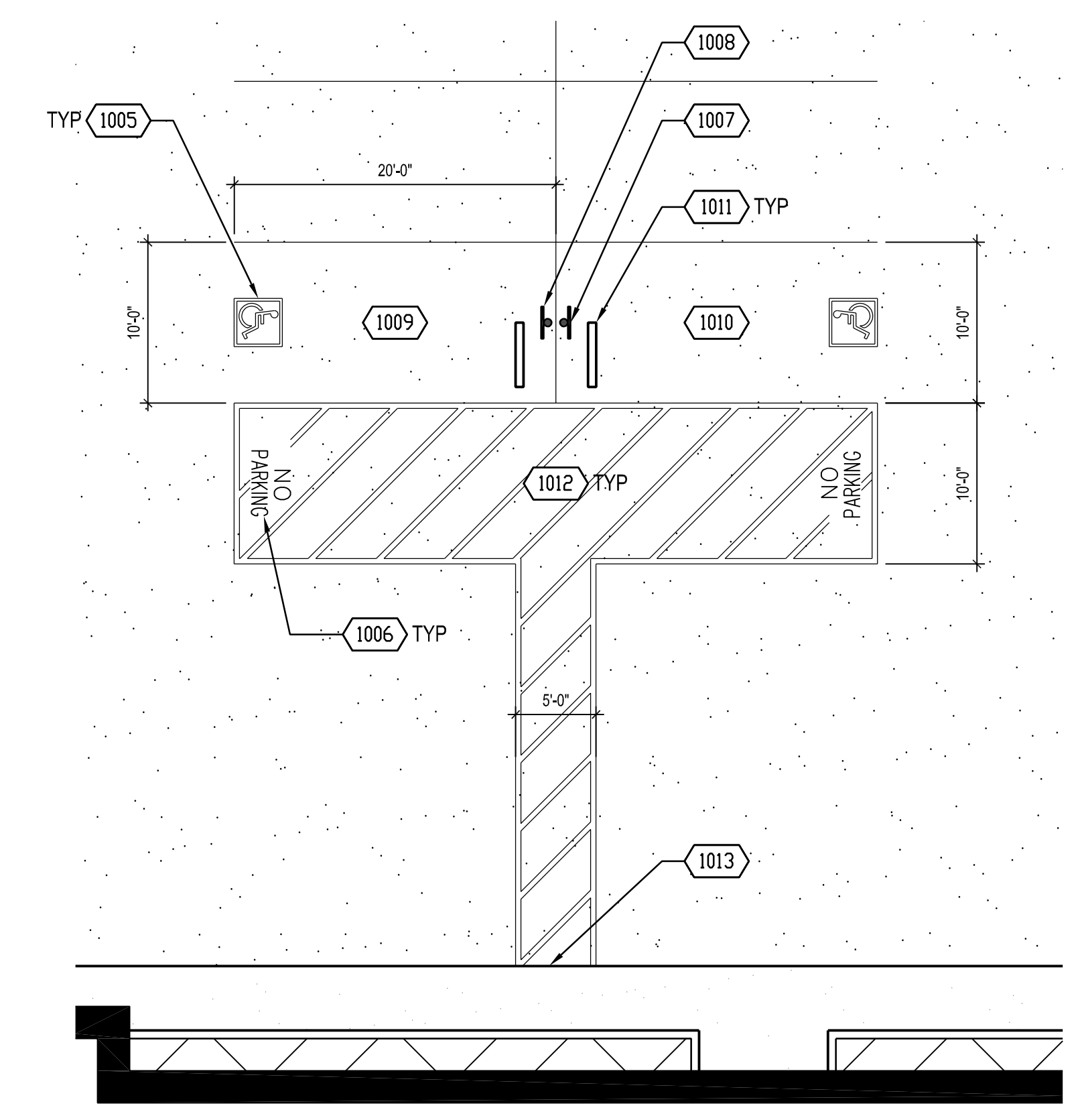
CONSULTANT

1	5/1/23	PBK	ADDENDUM 01
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: _____ CHECKED: _____
DATE: 02/24/2023 SCALE: _____
PROJECT NUMBER: 000000

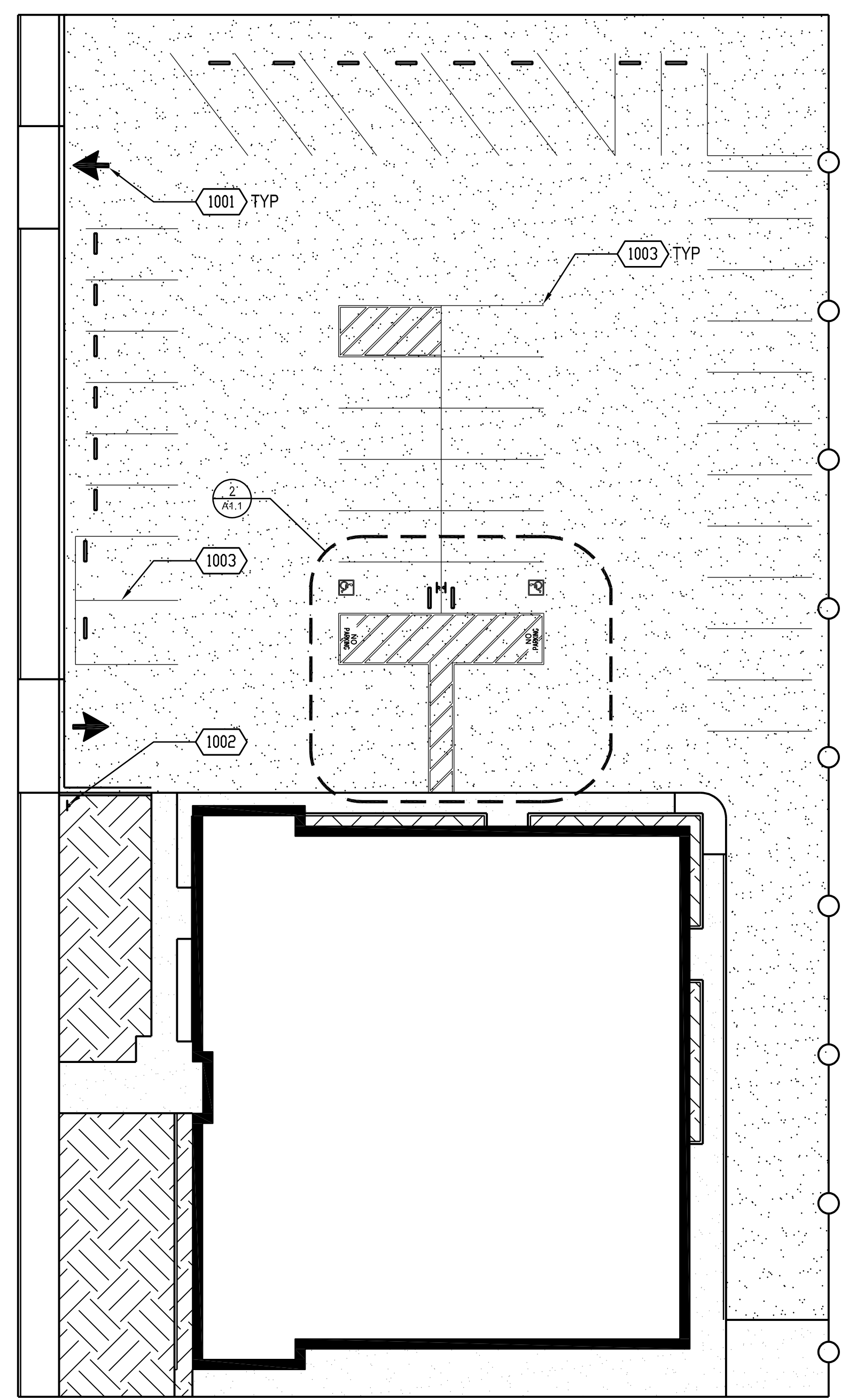
**ENLARGED
SITE PLAN**

DRAWING NUMBER: **A1.1**



ENLARGED ACCESSIBLE PARKING 1/8" = 1'-0" 2

EIGHTH ST.



ENLARGED SITE PLAN 1" = 20'-0" 1

REFERENCE NOTES



VESD East Side - Preliminary & Bid Schedule
 ADA Upgrades, Parking Lot Seal & Stripe
 Early May 2023

